

**ELABORAT LOKACIJSKE PREVERITVE ZA ZEMLJIŠČA PARC.
ŠT. 1828/12, 1828/133, 1828/134, 1828/135, 1828/136,
1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13,
1824/14, VSE K.O. PORTOROŽ**

Elaborat: ELABORAT LOKACIJSKE PREVERITVE ZA ZEMLJIŠČA PARC. ŠT. 1828/12, 1828/92, 1828/103, 1828/133, 1828/134, 1828/135, 1828/136, 1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13, 1824/14, VSE K.O. PORTOROŽ

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Naročnik: Eurotas turizem, gostinsko in hotelirstvo, d.o.o., Krekov trg 4, 3000 Ljubljana (vpis v ZK še ni izveden – priložen je ZK predlog)

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**Odgovorni
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Vsebina

1. Uvod	5
2. Osnovni podatki o obravnavanih zemljiščih	8
3. Podatki o veljavnih prostorskih aktih in lokacijskih preveritvah	11
4. Opredelitev nameravanih posegov	16
5. Utemeljitev dopustnosti začasne rabe prostora in skladnosti s podrobnejšo namensko rabo sosednjih zemljišč	17
5.1. Skladnost z javnim interesom in cilji prostorskega razvoja občine	17
5.2. Omogočanje izvedbe trajno načrtovanih prostorskih ureditev in predvidenih posegov v prostor, ohranjanje možnosti pozidave sosodnjih zemljišč ter skladnost s podrobnejšo namensko rabo sosednjih zemljišč	19
5.3. Izvedba komunalne infrastrukture	20
5.4. Skladnost s pravnimi režimi	21
6. Pogoji za izvajanje začasne rabe prostora	22
7. Viri in literatura	23
8. Grafične priloge	

1. Uvod

Investitor in pobudnik lokacijske preveritve za začasno rabo v skladu s tretjo alinejo 127. člena ZUreP-2 je podjetje Eurotas turizem d.o.o., Krekov trg 4, 3000 Celje. Območje predmet elaborata so zemljišča s parcelnimi št. 1828/12, 1828/133, 1828/134, 1828/135, 1828/136, 1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13, 1824/14, vse k.o. Portorož.

Zemljišče predmet lokacijske preveritve se nahaja ob Boutique Hotelu Portorož, ki se je v preteklosti (tudi v prostorskih aktih) imenoval Hotel Marita. Parcele predmet lokacijske preveritve v naravi predstavljajo del nepozidanega stavbnega zemljišča ob hotelskem kompleksu.

Želja investitorja je aktivirati nepozidano zemljišče z umestitvijo manjšega kampa višjega razreda in postavitev osem lesenih mobilnih bivalnih enot. Bivalne enote so med seboj povezane z ožjimi tlakovanimi potkami in priključene na obstoječo komunalno infrastrukturo. Bivalne enote, ki jih investitor umesti v prostor so proizvodi dani na trg in predstavljajo reverzibilen poseg v prostor saj ne terjajo gradbenih del in jih je možno po izteku dobe začasne rabe odstraniti in vzpostaviti prvotno stanje brez trajnih posledic za zemljišče. Potreba po postavitvi dodatnih enot izhaja iz nujnosti zagotovitve zadostnih kapacitet prenočišč v času do sprejetja OPN-ja občine Piran.

Ker je postopek priprave sprememb in dopolnitev prostorskih aktov relativno dolgotrajen, naročnik pa bi želel zemljišča aktivirati v najkrajšem možnem času, se je odločil za izvedbo lokacijske preveritve za namen smotrne rabe ter aktivacije zemljišč, ki niso v uporabi, kot začasne rabe v skladu s tretjo alinejo 127. člena ZUreP-2.

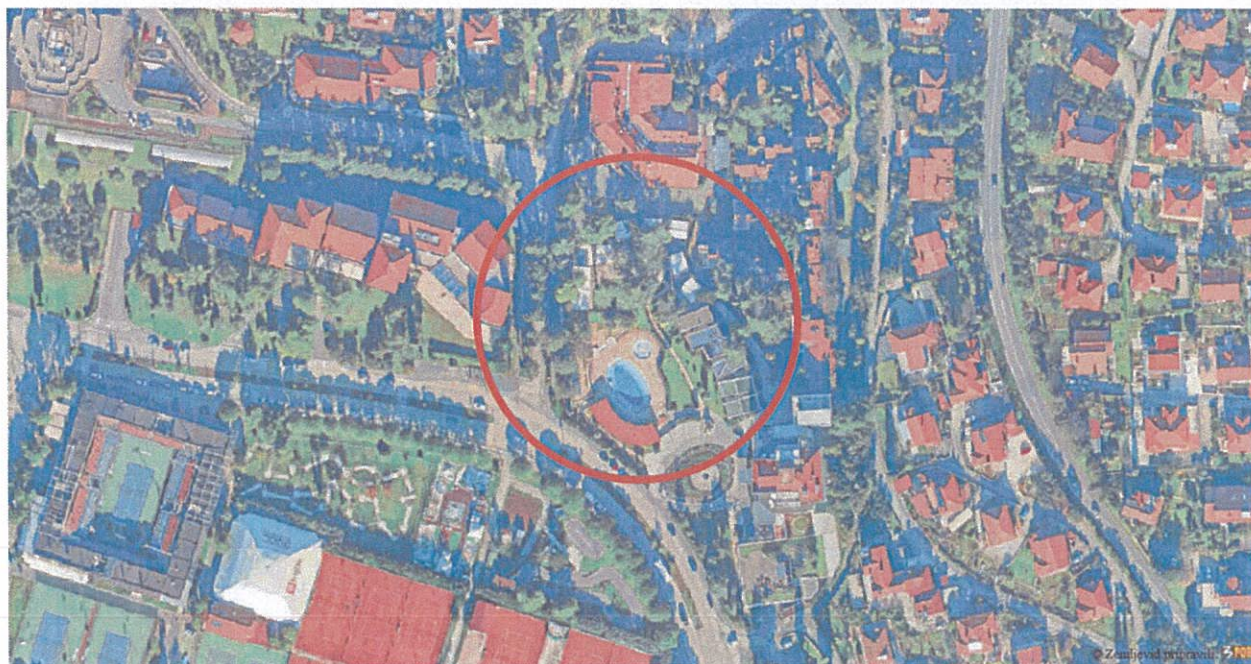
V skladu s tretjim odstavkom 130. člena ZUreP-2 se z lokacijsko preveritvijo določijo zemljišča, na katerih je dopustna začasna raba, čas izvajanja začasne rabe ter pogoji zanjo ter uredijo druga s tem povezana vprašanja.



Slika 1, Prikaz širšega območja občine Piran in lokacije lokacijske preveritve (DOF, vir: pregledovalnik prostorskih podatkov občine Piran)



Slika 2, Prikaz območja Portoroža in lokacije lokacijske preveritve (DOF, vir: pregledovalnik prostorskih podatkov občine Piran)



Slika 3, Podrobnejši prikaz območja Portoroža in lokacije lokacijske preveritve (DOF, vir: pregledovalnik prostorskih podatkov občine Piran)



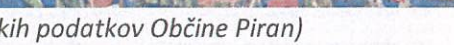
Slika 4, Prikaz širšega območja Portoroža in območja lokacijske preveritve (DOF in območje LP, vir: Geodetska uprava Republike Slovenije)

2. Osnovni podatki o obravnavanih zemljiščih in objektih

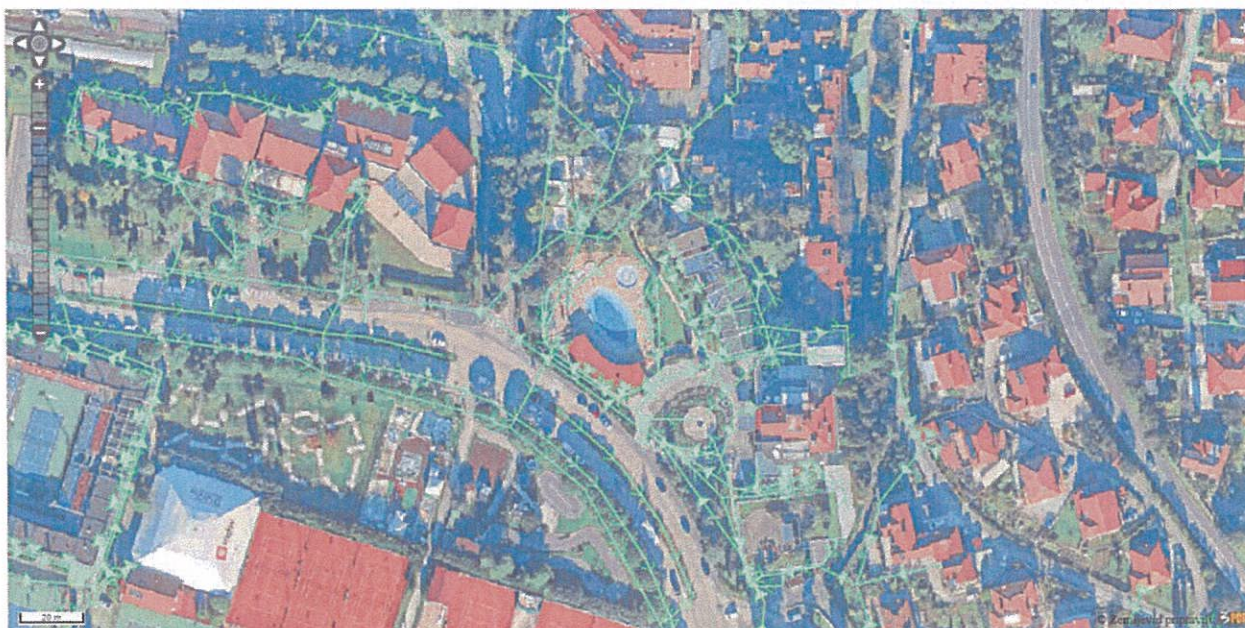
Obravnavano območje vključuje zemljišča parc. št. 1828/12, 1828/133, 1828/134, 1828/135, 1828/36, 1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13, 1824/14, vse k.o. Portorož. Nahaja se v vzhodnem delu Portoroža, na meji z naseljem Lucija. Območje meji južno z glavno portoroško štiripasovnico in promenado. Območje je dostopno z glavne Portoroške lokalne zbirne ceste LZ 312113. Iz zahodne strani območje meji z javno pot JP 812211. Na severu in vzhodu meji z apartmajskimi kompleksi in stanovanjskim območjem. Območje LP označeno z rdečo barvo meri 5312,24 m² in obsega zgoraj navedene parcele v celoti.



Slika 5, Prikaz ožjega območja Portoroža in območja lokacijske preveritve (DOF in DKN ožjega območja, vir: Geodetska uprava Republike Slovenije)



Območje lokacijske preveritve je v celoti komunalno opremljeno. Predvidena začasna ureditev kampa ne posega v obstoječo vodovodno, kanalizacijsko in energetska omrežje. Za zagotavljanje začasnih rabe ni potrebno zgraditi nove komunalne infrastrukture.



Slika 8, Prikaz kanalizacijske infrastrukture (vir: Pregledovalnik prostorskih podatkov Občine Piran)



Slika 9, Prikaz vodovodne infrastrukture (vir: Pregledovalnik prostorskih podatkov Občine Piran)

3. Podatki o veljavnih prostorskih aktih in lokacijskih preveritvah

Zemljišča predmet lokacijske preveritve za omogočanje začasne rabe prostora se nahajajo na območju, ki se ureja z naslednjimi prostorskimi akti:

- Spremembe in dopolnitve prostorskih sestavin dolgoročnega in srednjeročnega plana Občine Piran (Ur. objave št. 26/98, 22/99, 31/99, 37/99, 46/00, 17/02, 24/02, 36/02, 7/03, 37/03, 26/04, 36/04, 1/06, 5/06, 20/10)
- Prostorski ureditveni pogoji (PUP) za turistično stanovanjsko območje Metropol v Portorožu (Ur. objave št. 13/89, 24/94, 17/06)

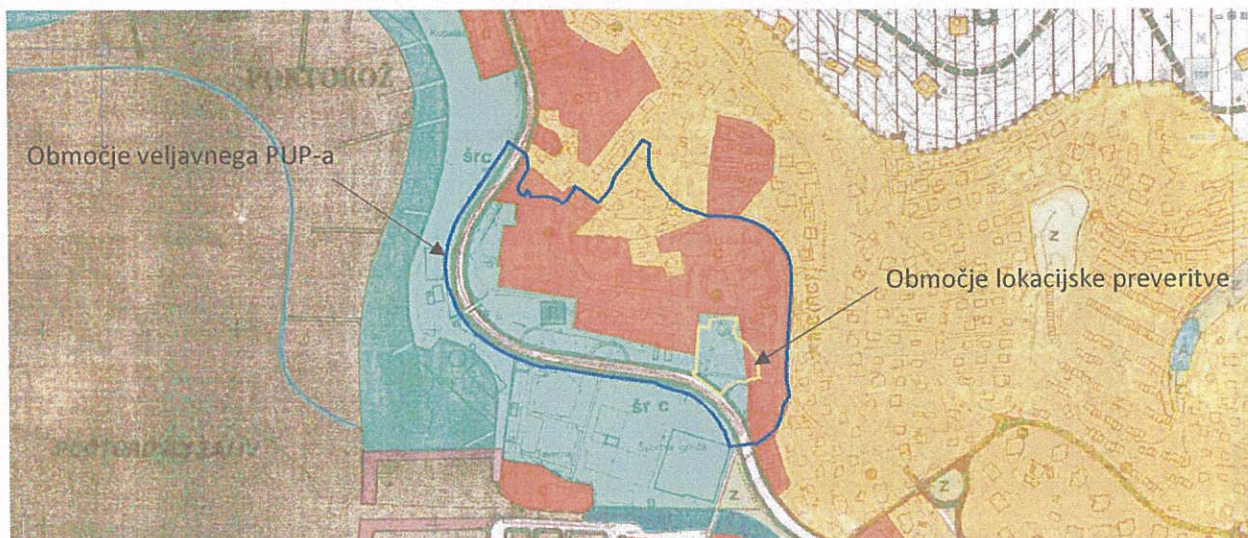
Na območju do sedaj ni bilo izvedenih lokacijskih preveritev. Prav tako območje obravnave ne leži na območju državnih prostorskih načrtov.

V občini Piran še ni sprejet občinski prostorski načrt (OPN), veljavna namenska raba zemljišč je prikazana v karti namenske rabe spremembah in dopolnitvah prostorskih sestavin dolgoročnega in srednjeročnega plana. Na spodnji karti namenske rabe (slika 10) je prikazano območje dela Portoroža, Lucije, industrijske cone Lucija in hribovitega zaledja z razpršeno gradnjo oz. posamično poselitv. Obravnavano območje lokacijske preveritve sega delno v območje »centralnih dejavnosti« označeno s črko »c« (obarvano z oranžno barvo) in delno v območje za »šport, rekreacijo in centralne dejavnosti« označeno s črkami »šr c« (obarvano z zeleno barvo).



Slika 10, Karta namenske rabe za območje Portoroža in Lucije z označeno lokacijo elaborata lokacijske preveritve (vir: karta namenske rabe, Spremembe in dopolnitve prostorskih sestavin dolgoročnega in srednjeročnega plana Občine Piran (Ur. objave št. 26/98, 22/99, 31/99, 37/99, 46/00, 17/02, 24/02, 36/02, 7/03, 37/03, 26/04, 36/04, 1/06, 5/06, 20/10, Urad za okolje in prostor, Občina Piran)

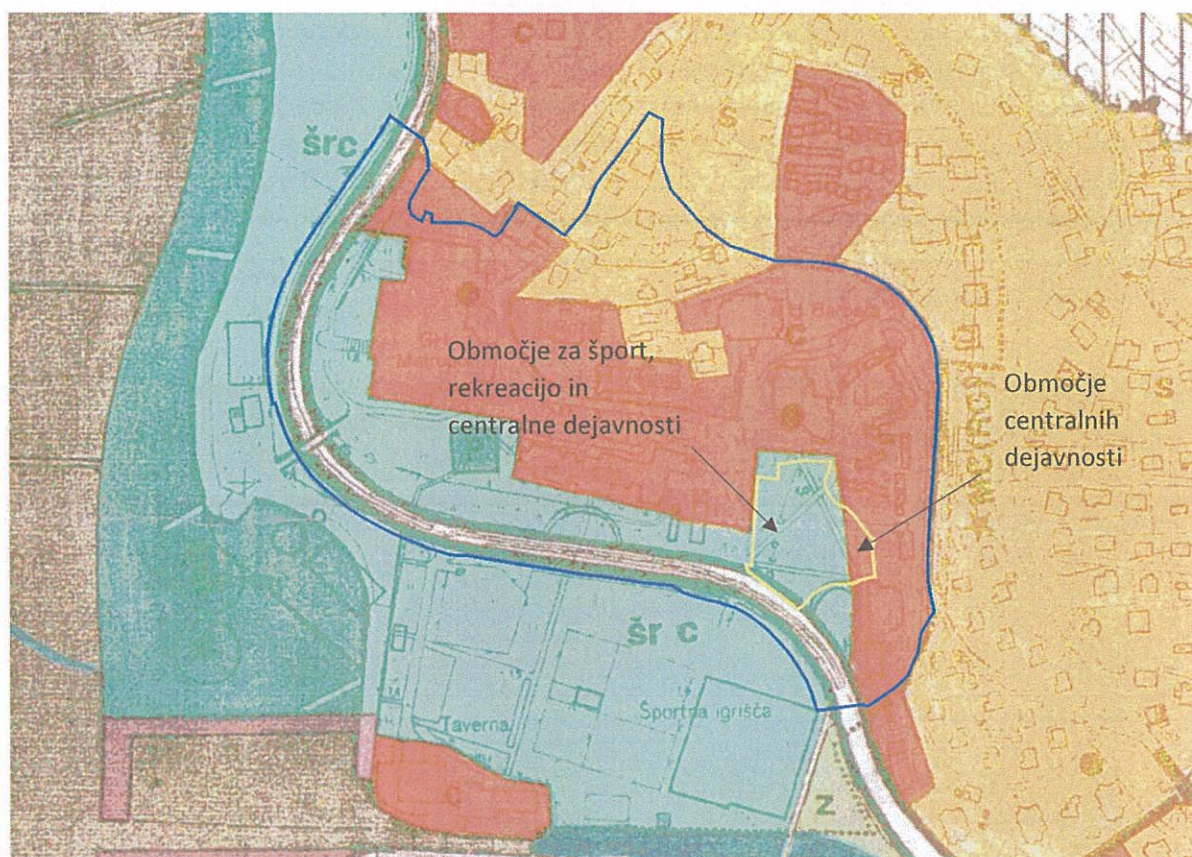
Podrobnejši akt v veljavi, ki ureja predmetno območje so Prostorsko ureditveni pogoji (PUP) za turistično stanovanjsko območje Metropol v Portorožu (Ur. objave št. 13/89, 24/94, 17/06), zadnja njihova sprememba iz leta 2006 (Uradne objave Primorskih novic št.17, Koper, 26.maj 2006) je bila izdelana v digitalni obliki (.dwg) in se meja območja hrani v digitalni obliki. Ker občina Piran nima sprejetega OPN-ja je nemogoče v grafičnem delu LP vnesti izvirno območje iz OPN-ja. V tem primeru se v grafičnem digitalnem delu vloge lokacijske preveritve vnaša izvirno območje oz. poligon, ki opredeljuje območje veljavnega PUP-a. Meja območja PUP-a je uporabljena v grafičnih prilogah tekstualnega dela in digitalnih podatkih kot izvirno geo-pozicionirano območje.



Slika 11, Karta namenske rabe za območje Portoroža in Lucije z označenim območjem PUP-a (modra linija) in poligonom območja predmet lokacijske preveritve (rumena linija) (vir: geo-pozicionirana karta namenske rabe, območje PUP-a v digitalni obliki, Urad za okolje in prostor, Občina Piran)

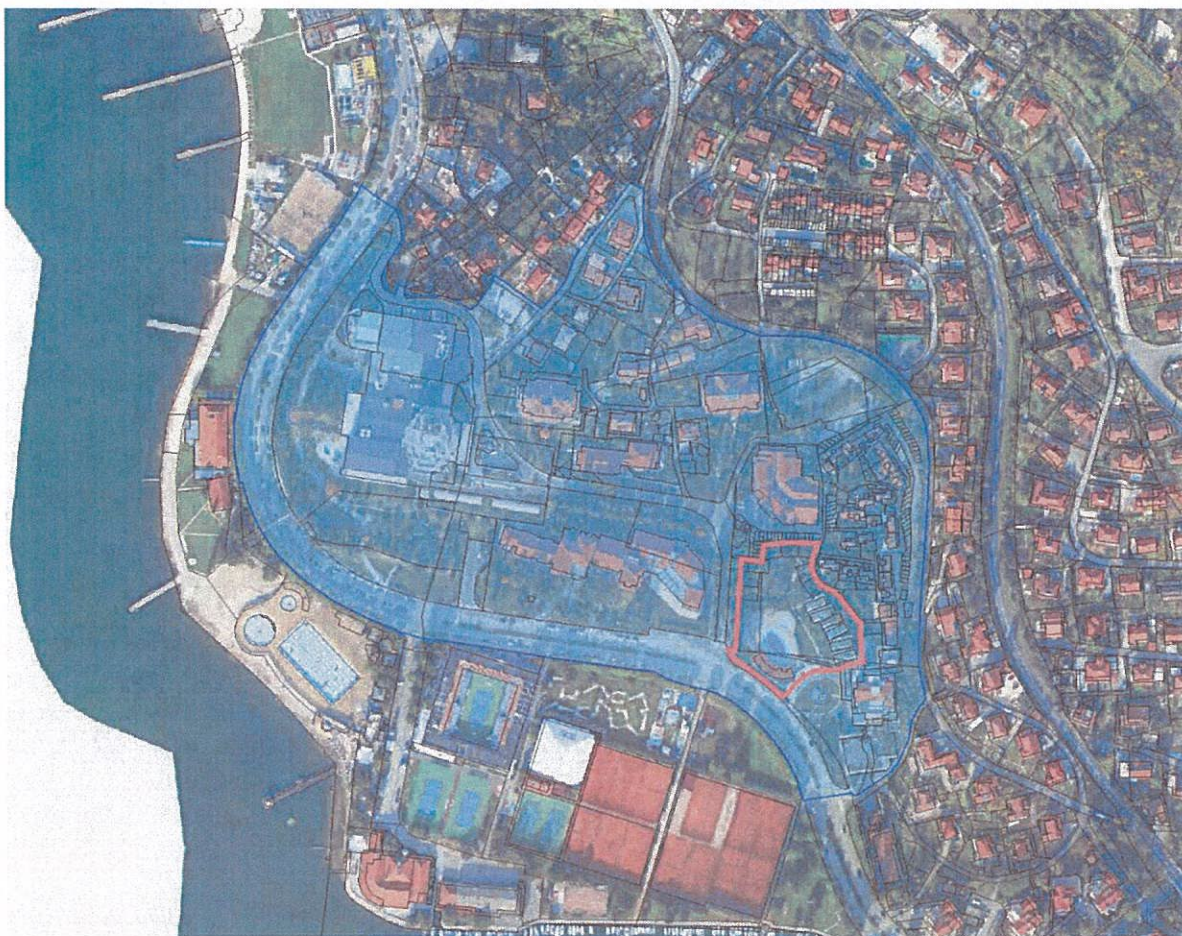
Zemljišče predmet lokacijske preveritve leži jugo-vzhodno v ureditvenem območju PUP-a za turistično stanovanjsko območje Metropol v Portorožu (Ur. objave št. 13/89, 24/94, 17/06)

Iz karte namenske rabe je možno razbrati da večji del območja predmet lokacijske preveritve stoji na zemljiščih, ki po planu so opredeljeni za šport, rekreacijo in centralne dejavnosti, manjši vzhodni del območja predstavlja centralne dejavnosti. V podrobnejših izvedbenih aktih (PUP) niso opredeljene podrobnejše namenske rabe.



Slika 12, Karta namenske rabe za ožje območje Portoroža in Lucije z označenim območjem PUP-a (modra linija) in poligonom območja predmet lokacijske preveritve (rumena linija) (vir: geo-pozicionirana karta namenske rabe, območje PUP-a v digitalni obliki, Urad za okolje in prostor, Občina Piran)

Modra linija (slika 11 in 12) predstavlja območje veljavnega PUP-a za turistično stanovanjsko območje Metropol v Portorožu (Ur. objave št. 13/89, 24/94, 17/06). Rumena linija je območje lokacijske preveritve.



Slika 13, Območje PUP-a in poligon območja predmet lokacijske preveritve (vir: območje PUP-a v digitalni obliki, Urad za okolje in prostor, Občina Piran)

Slika 13 podrobneje prikazuje območje PUP-a in lokacijske preveritve na DOF-u in DKN prikazu.

4. Opredelitev nameravanih posegov

Obravnavano območje vključuje zemljišča parc. št. 1828/12, 1828/133, 1828/134, 1828/135, 1828/136, 1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13, 1824/14, vse k.o. Portorož.

Na obravnavanem območju stoji bazen s spremljajočim objektom in šest depandans objektov. Obstoječi objekti niso predmet lokacijske preveritve, vključeni so v območje zaradi stanja parcel na dan priprave lokacijske preveritve v smislu vnašanja celotnih parcel v območje lokacijske preveritve in ne le delov.

Začasna raba se nanaša izključno na postavitve osem kamp mobilnih hišic s priključki na obstoječe vodovodno, energetska in kanalizacijsko omrežje.

Komunikacija v kampu se uredi s tlakovanimi potkami, v čim večji možni meri se uporabijo obstoječe utrjene površine oz. peš poti.

Drevesa se v celoti ohrani tako, da se kamp prikolice prilagodijo obstoječi strukturi zelenja.

Kamp prikolice je investitor že dobavil in jih hrani deponirane na zemljiščih, ki so predvideni v lokacijski preveritvi.

5. Utemeljitev dopustnosti začasne rabe prostora in skladnosti s podrobnejšo namensko rabo sosednjih zemljišč

130. člen ZUreP-2 določa, da začasna raba ne sme:

- biti v nasprotju z javnim interesom in cilji prostorskega razvoja občine;
- onemogočati izvedbe trajno načrtovanih prostorskih ureditev in predvidenih posegov v prostor, vključno z izvedbo pripravljalnih del zanje;
- zmanjševati možnosti pozidave sosednjih zemljišč;
- terjati izvedbe nove ali povzročiti bistvenega povečanja obremenitve obstoječe komunalne opreme na območju in
- biti v nasprotju s pravnimi režimi.

Priporočila MOP za izvajanje lokacijske preveritve določajo še, da je potrebno v elaboratu lokacijske preveritve utemeljiti skladnost začasne rabe s podrobnejšo namensko rabo sosednjih zemljišč.

5.1. Skladnost z javnim interesom in cilji prostorskega razvoja občine

Občina Piran nima sprejetega občinskega prostorskega načrta v skladu z ZPNačrt oziroma ZUreP-2. Krovni strateški prostorski akt predstavljajo tako Spremembe in dopolnitve prostorskih sestavin dolgoročnega in srednjeročnega plana Občine Piran (Ur. objave št. 26/98, 22/99, 31/99, 37/99, 46/00, 17/02, 24/02, 36/02, 7/03, 37/03, 26/04, 36/04, 1/06, 5/06, 20/10)

V območju predmet obravnave prevladuje turistična namembnost, ki se pojavlja tako v območjih centralnih dejavnosti (oranžna območja z oznako »c«) kot v območjih za šport, rekreacijo in centralne dejavnosti (zelena območja z oznako »šr c«). Ponekod turistična dejavnost se pojavlja tudi v območjih za stanovanja (rumena območja z oznako »s«).

Trend, ki ga je opaziti v občini Piran je širitev oz. povečava kapacitet za prenočišča oz. za turizem bodisi na območjih, ki so za to namenjena bodisi na območjih stanovanjskih gradenj s posledičnim krčenjem števila stanovanjskih enot, ki so potrebne ohranjanju prebivalstva. Ta pojav je najbolj izrazit v samem mestnem jedru Pirana kjer se število stalnih naselitev postopoma manjša.

Zaradi dolgotrajnih postopkov sprejemanja OPN-ja v občini Piran že leta ni možno načrtovati novih turističnih kapacitet. Dodatno težavo predstavljajo konkretne napake in neskladja v določenih veljavnih prostorskih aktih, ki so zastareli in neuporabni in v nekaterih primerih celo onemogočajo novogradnje na območjih centralnih dejavnosti kljub temu, da jih plan opredeljuje kot površine za take umestitve. Napake v PUP-ih so pogoste kot so pogoste spremembe prakse upravne enote, ki pri odločanju sledi vsakokratnim novim sodnim praksam, ki so posledica različnim tolmačenjem na prvih stopnjah odločanja. OPPN-ji so velikokrat neizvedljivi kljub njihovi veljavnosti zaradi obstrukcije različnih interesnih skupin itd. Glede na našete težave je jasno pričakovati, da se bo inštrument lokacijske preveritve želel uporabiti v več primerih saj po rednih postopkih potrebne spremembe v prostoru, pa četudi začasne narave, niso možne. Aktualnost je še dodatno pokazala kako majhna je slovenska obala in kako potrebno je sprejeti kvalitetne krovne akte (OPN-je) ne le za občino Piran temveč za vse štiri obalne občine.

Občina Piran je glede turizma nedvomno najpomembnejša med temi občinami. Njen razvoj in življenje temelji na turistični panogi. Portorož pa tako predstavlja osrednji del turistične občine kjer se je v preteklosti in se bo v bodoče razvijal turizem.

Nameravan poseg, ki je začasne narave je nujen za zagotavljanje delovnih mest predmetnega kompleksa ki šteje na desetine zaposlenih in posledično prav toliko družin.

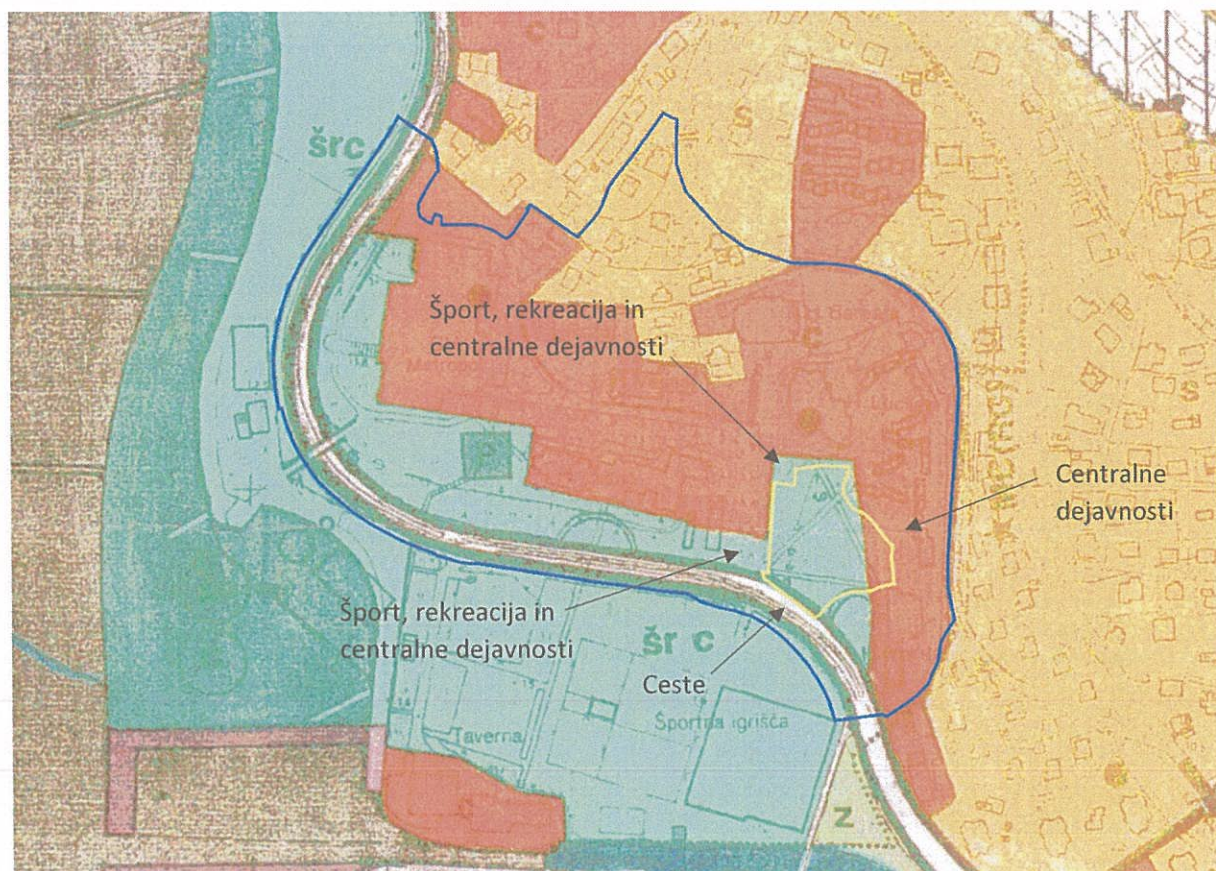
Poseg je 100% reverzibilen saj gre za mobilne hiške, zato ne onemogoča in v nikakršni meri ne omejuje nadaljnji razvoj tako širšega kot ožjega območja.

Nameravani posegi niso v nasprotju z javnim interesom in cilji prostorskega razvoja občine.

5.2.Omogočanje izvedbe trajno načrtovanih prostorskih ureditev in predvidenih posegov v prostor, ohranjanje možnosti pozidave sosednjih zemljišč ter skladnost s podrobnejšo namensko rabo sosednjih zemljišč

S prostorskimi sestavinami dolgoročnega in srednjeročnega plana občine Piran je celotno območje uvrščeno v stavbna zemljišča. Podrobnejšo zasnovo območja opredeljuje zadnja sprememba PUP-a za turistično stanovanjsko območje Metropol v Portorožu (Uradne objave Primorskih novic št.17, Koper, 26.maj 2006). Namenska raba zemljišč je podana samo v krovnem aktu oz. planu, v PUP-u niso opredeljene podrobnejše namenske rabe.

Območje skladno s sedaj veljavnimi akti predstavlja parkovno urejene površine. Trajno načrtovanih ureditev predmetnega območja s PUP-om ni, zato začasna raba zemljišča jih ne omejuje. Predvidenih posegov v prostor prav tako ni saj je PUP za turistično stanovanjsko območje Metropol v Portorožu konzumiran akt saj so vsi predvideni posegi bili že izvedeni tako na predmetnih kot na sosednjih zemljiščih. Postavitev mobilnih hišk ne poslabšuje kvalitete parka saj se vsa drevesa in grmovnice ohranijo.



Slika 15, Prikaz namenske rabe sosednjih zemljišč na karti namenske rabe Plana Občine Piran (vir: Spremembe in dopolnitve prostorskih sestavin dolgoročnega in srednjeročnega plana Občine Piran (Ur. objave št. 26/98, 22/99, 31/99, 37/99, 46/00, 17/02, 24/02, 36/02, 7/03, 37/03, 26/04, 36/04, 1/06, 5/06, 20/10))

Predvidena začasna raba prostora je skladna z namensko rabo prostora ki je opredeljena v veljavnem planu.

Na predmetnem območju tako splošni kot podrobnejši akt ne predvidevata zazidav ali drugih ureditev zato začasna raba ne vpliva na omogočanje trajno načrtovanih prostorskih ureditev in predvidenih posegov v prostor.

Namenska raba sosednjih zemljišč izven območja lokacijske preveritve je pretežno enaka kot v območju LP zato je možno ugotoviti skladnost med namensko rabo predmetnega območja in neposredne okolice.

Nameravani posegi ne onemogočajo izvedbe trajno načrtovanih prostorskih ureditev in predvidenih posegov v prostor, vključno z izvedbo pripravljanih del zanje.

Nameravani posegi ne zmanjšujejo možnosti pozidave sosednjih zemljišč.

Nameravani posegi so skladni z namensko rabo sosednjih zemljišč.

5.3. Izvedba komunalne infrastrukture

Območje je v celoti komunalno opremljeno. Dostop je zagotovljen preko obstoječega dovoza Boutique Hotela Portorož iz glavne štiripasovnice. Predvideni kamp stoji na zemljišču ob Boutique hotelu Portorož kateri je prav tako v lasti pobudnika lokacijske preveritve. Na predmetnem območju se nahajajo priključki na vodovodno, kanalizacijsko in elektroenergetsko omrežje. Za potrebe namena lokacijske preveritve za začasno rabo ni potrebno zgraditi nobene nove infrastrukture. V bližini je urejen tudi obstoječi ekološki otok, ki že sedaj služi potrebam hotela. Izvajanje predvidenečasne rabe ne zahteva povečanja obstoječih ali dodajanja novih komunalnih priključkov. Prav tako ne zahteva povečanja kapacitete obstoječih komunalnih vodov.

Nameravani posegi ne terjajo izvedbe nove in ne povzročajo bistvenega povečanja obremenitve obstoječe komunalne opreme na območju.

5.4.Skladnost s pravnimi režimi

Obravnavana zemljišča predmet lokacijske preveritve se nahajajo izven območij varstva kmetijskih zemljišč, gozdov in kulturne dediščine, vodovarstvenih območij, območij z naravovarstvenim statusom ter območij državnih prostorskih načrtov.

Območje LP se nahaja le delno v varovalnih pasovih javne zbirne ceste JZ 312113, ki znaša 4m. Kamp predmet lokacijske preveritve je predviden izven območja varovalnega pasa lokalne zbirne ceste.

Območje meji na zahodu z JP 812221 vendar ne posega v 2m varovalni pas.

Nameravani posegi niso v nasprotju s pravnimi režimi.

6. Pogoji za izvajanje začasne rabe prostora

Na območju lokacijske preveritve se dopusti začasna raba zemljišč s parc. št. 1828/12, 1828/133, 1828/134, 1828/135, 1828/136, 1824/8, 1824/9, 1824/10, 1824/11, 1824/12, 1824/13, 1824/14, vse k.o. Portorož za potrebe ureditve turističnega kampa kot dopolnilna dejavnost v povezavi z Boutique Hotelom Portorož (bivši Hotel Marita).

Na podlagi Uredbe o razvrščanju objektov (Uradni list RS, št. 37/18) mora biti klasifikacija vrst objektov ali delov objektov glede na namen uporabe sledeča:

- klasifikacija po CC-SI 24122 Drugi gradbeni inženirski objekti za šport, rekreacijo in prosti čas (kamp)

Dopustna je tudi postavitve začasnih enostavnih in nezahtevnih objektov in izvedba drugih ureditev okolice če so le ta povezana s funkcijo kampa, vse v skladu z uredbo o razvrščanju objektov, in sicer:

- varovalne ograje,
- oporni zidovi, mejni zidovi
- nadstrešnice,
- priključki na gospodarsko javno infrastrukturo

Maksimalna dopustna višina ograj je 2, 5 m in opornih zidov 2 m. Glede oblikovanja ograj, opornih zidov in odmikov od sosednjih zemljišč se upoštevajo določila veljavnega PUP-a.

Enostavni in nezahtevni objekti morajo biti oblikovani enostavno in usklajeno z osnovno zazidavo. Njihova višina ne sme presegati višine 3,50m. Odstopanja v oblikovanju in maksimalnem višinskem gabaritu so dopustna v primeru, ko gre za prefabricirane objekte oz. proizvode, ki so kot celota dani na trgu, pri katerih je oblikovanje podrejeno tehnologiji (npr. mobilne hiške). Nadstrešnice morajo imeti ravno streho ali enokapno streho v minimalnem naklonu. Glede odmikov enostavnih in nezahtevnih objektov od sosednjih zemljišč se upoštevajo določila veljavnega PUP-a. Za postavitve ograj in mobilnih hišk za potrebe kampa minimalni odmik se ne predpiše.

Pozidanost območja lokacijske preveritve oziroma parcele namenjene gradnji turističnega kampa ne sme presegati 40 %. Parcela namenjena gradnji za kamp je lahko manjša od območja lokacijske preveritve. Parcela namenjena gradnji kampa naj se določi v severno zahodnem delu območja lokacijske preveritve in naj meri cca 2000 m².

Na območju lokacijske preveritve se za ostale ureditve smiselno upoštevajo določila veljavnega akta pred sprejemom lokacijske preveritve (PUP).

Lokacijska preveritev, zaradi stanja parcelnih mej na dan priprave zajema tudi območje obstoječega bazena s pripadajočim objektom in območje šestih obstoječih dislociranih hotelskih dependans za katere se ne glede na določila lokacijske preveritve smiselno upoštevajo merila, ki so bila za te objekte podane v odloku o spremembi odloka o prostorskih ureditvenih pogojih za turistično stanovanjsko območje Metropol v Portorožu na osnovi katerega so bili zgrajeni.

Lokacijska preveritev ne vpliva oz. ne spreminja pogojev za obstoječe objekte temveč določa samo dodatno možnost ureditve kampa na severno zahodnem delu zemljišča, ki ga določa lokacijska preveritev.

Začasna raba se glede na priporočila MOP dopusti za obdobje 7 let oz. 5 let od pridobitve gradbenega in uporabnega dovoljenja.

7. Viri in literatura

Občina Piran, urad za okolje in prostor

Projektiva Inženiring Piran d.o.o.

GURS: Podatkovni portal E-GEODETSKI PODATKI.

GZ: Gradbeni zakon. Uradni list RS, št. 61/17 in 72/17 – popr.

MOP-1: Ministrstvo za okolje in prostor, 2018. Priporočila za izvajanje lokacijske preveritve.

MOP-2: Ministrstvo za okolje in prostor, 2018. Tehnična smernica za graditev: TSG-V-006: 2018 Razvrščanje objektov.

Spremembe in dopolnitve prostorskih sestavin dolgoročnega in srednjeročnega plana Občine Piran (Ur. objave št. 26/98, 22/99, 31/99, 37/99, 46/00, 17/02, 24/02, 36/02, 7/03, 37/03, 26/04, 36/04, 1/06, 5/06, 20/10)

Prostorski ureditveni pogoji (PUP) za turistično stanovanjsko območje Metropol v Portorožu (Ur. objave št. 13/89, 24/94, 17/06)

Uredba o razvrščanju objektov. Uradni list RS, št. 37/18.

ZUreP-2: Zakon o urejanju prostora. Uradni list RS, št. 61/17.

8. Grafične in druge priloge

1. Geodetski posnetek pred zadnjo parcelacijo in pred dobavo mobilnih enot (datum posnetka, 27.3.2019)
2. Geodetski posnetek z zadnjim stanjem parcel in z vrisanimi deponiranimi mobilnimi enotami (datum posnetka, 11.10.2019)
3. Prikaz območja lokacijske preveritve na geodetskem posnetku
4. Predvidena ureditvena situacija lokacijske preveritve
5. Tehnična dokumentacija proizvodov oz. mobilnih enot
6. Fotografije območja
7. ZK predlog vpisa lastništva



GEKOM
geodetske storitve

NAROČNIK: EUROTAS HOTELI d.o.o., Krekov trg 4, 3000 Celje

PROJEKT: K.O. 2631 - PORTOROŽ, PARC. ŠT. 1824/3

ŠTEVILKA PROJEKTA GEK – 218/2019

VRSTA DOKUMENTACIJE GEODETSKI NAČRT

IZDELOVALEC GEODETSKE DOKUMENTACIJE:

GEKOM d.o.o., Nanoška ulica 6, 1000 Ljubljana

DIREKTOR PODJETJA:

IZTOK LAMPIČ inž.grad.

KRAJ IN DATUM

Ljubljana, 27.03.2019



CERTIFIKAT GEODETSKEGA NAČRTA

1. NAROČNIK GEODETSKEGA NAČRTA:

EUROTAS HOTELI d.o.o.
Krekov trg 4
3000 Celje

2. ODGOVORNI GEODET:

Sašo Bucaj, dipl. inž. geod., IZS PI Geo 0544 potrjujem, da je geodetski načrt s številko GEK – 218/2019, izdelan skladno s predpisi in z namenom uporabe, opredeljenim v točki tri tega certifikata.

3. NAMEN UPORABE GEODETSKEGA NAČRTA:

Geodetski načrt za pripravo projektne dokumentacije je izdelan na parcelah št. 1824/1, 1824/3, 1824/25, 1824/32, 1824/31, 1826/8, 1828/18, 1828/29, 1828/30, 1828/31, 1828/72, 1828/85, 1828/86, 1828/87, 1828/79, 1828/91, 1828/92, 1828/93, 1828/94, 1828/95, 1828/96, 1828/97, 1828/98, 1828/99, 1828/100, 1828/101, 1828/102, 1828/104, 1828/105, 1828/106, 1828/107, 1828/108, 1828/103, 1842/16, vse v . K.O. : 2631 – PORTOROŽ.

4. PODATKI O VSEBINI GEODETSKEGA NAČRTA:

Podatki	Vir podatkov	Institucija	Datum	Položajna natančnost
zemljiške parcele	zemljiškokatastrski prikaz	Zkp 24 - GURS	27.3.2019	do $\pm 0,15$ m
topografska vsebina	geodetska izmera na terenu	GEKOM d.o.o	26.3.2019	$\pm 0,06$ m
vodovod	zbirni kataster GJI	Zkp 24 - GURS	27.3.2019	ni podana
električna energija	zbirni kataster GJI	Zkp 24 - GURS	27.3.2019	ni podana
kanalizacija	zbirni kataster GJI	Zkp 24 - GURS	27.3.2019	ni podana
telekomunikacije	zbirni kataster GJI	Zkp 24 - GURS	27.3.2019	ni podana

5. POGOJI ZA UPORABO GEODETSKEGA NAČRTA:

- Načrt je izdelan v D96/TM koordinatnem sistemu.
- Merilo načrta je 1: 500.
- Osnova za geodetske meritve so bile z metodo GNSS – VRS opazovane točke operativne geodetske mreže, ki so bile uporabljene kot stojišča tahimetrične izmere.

Natančnost, vpisana v točki štiri tega certifikata, je relativna natančnost glede na dano mrežo operativne geodetske mreže. Položaj prikazanih objektov geodetskega načrta je homogen glede na zgoraj opisani koordinatni sistem.

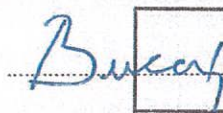
Višinsko izhodišče je določeno s pomočjo interpolacije modela geoida Republike Slovenije.

- Za prikaz vsebine geodetskega načrta so bili uporabljeni znaki Topografskega ključa, ki ga je objavila Geodetska uprava Republike Slovenije.
- Topografska vsebina geodetskega načrta je bila pridobljena z geodetsko izmero na terenu.
- Na terenu so posneti vidni jaški komunalnih vodov.
- Podatki o poteku telekomunikacijskih in električnih vodov, kanalizacije in vodovoda so privzeti iz katastra gospodarske javne infrastrukture. Za položajno natančnost vodov se je potrebno obrniti na upravljavce teh vodov. Glej točko 4.
- Osnovne parcele geodetskega načrta so parcele 1824/3, 1828/85, 1828/86, 1828/79, 1828/92, 1828/93, 1828/103 vse v . K.O. : 2631 – PORTOROŽ.
- Meje osnovnih parcel 1828/85, 1828/86, 1828/79, 1828/92, 1828/93 in 1828/103 so urejene in so vrisane po podatkih zemljiško-katastrskega prikaza z natančnostjo do +/- 0,06 m. Meje ostalih osnovnih parcel so delno urejene in so vrisane po podatkih zemljiško-katastrskega prikaza z natančnostjo do +/- 0,15 m.
- Urejeni deli mej so v geodetskem načrtu vrisani odebeljeno.

LJUBLJANA, DNE 27.03.2019

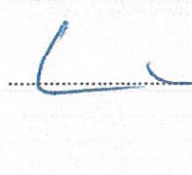
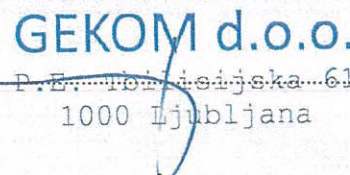
SAŠO BUCAJ, dipl.inž.geod., IZS PI Geo 0544

(osebni žig in podpis odgovornega geodeta)

IZTOK LAMPIČ, DIREKTOR

(žig geodetskega podjetja, podpis odgovorne osebe)



TOČKOVNI ZNAKI		LINIJSKI ZNAKI	
• stanovanjska stavba	→ elektro konzola	objekt	
• nadstrešek	→ predalčni stebel	povezave	
• park	→ m. trafo postaja	zemeljski groben	
• samostojna streha	→ m. razdelilna postaja	skalni rob	
• poslovna stavba	→ elektro armaturo	rob brezna	
• zidana g. stavba	→ trafo postaja	zg. rob brežine nad 2 m	
• lesena g. stavba	→ razdelilna postaja	zg. rob brežine pod 2 m	
• samostojna streha	→ nosilni steb. pravokoten	ogroja	
• rastlinjak	→ nosilni steb. okrogel	lesena ogroja	
• kanalizacijski jašek	→ svetlobni jašek	žleznata ogroja	
• kanalizacijski jašek	→ dimnik	živa meja	
• meteorni jašek	→ jašek elektronskih kom.	podporni zid	
• meteorni jašek	→ drog	zidana ogroja	
• jašek javne razsvetljave	→ pokopališče	kamnika škrapa	
• jašek javne razsvetljave	→ jašek javne razsvetljave	propust	
• električni jašek	→ listnato drevo	meja pravnega režima	
• telekomunikacijski jašek	→ iglasto drevo	državna meja	
• telekomunikacijski jašek	→ grm	občinska meja	
• jašek okrogel	→ manjša zelenica	meja katastrske občine	
• jašek kvadraten	→ manjši travnik	kanal ožji od 0,5 m	
• peskalov	→ manjše grmovje	jarek z nestalno vodo	
• požarnik podrobni	→ zelenica	kabelska kanalizacija	
• požarnik	→ travnik	kanal za padavinske vode	
• zapirala za vodo	→ sadovnjak	kanal za odpadne vode	
• nadzemni hidrant	→ njiva	telekomunikacije	
• podzemni hidrant	→ sadovnjak	vodovod	
• zapirala za plin	→ gozd listnat	vročevod	
• svetilka na drogu	→ gozd iglasti	elektrika nizne napetosti	
• dekorativna svetilka	→ zapirala za plin	elektrika visoke napetosti	
• PIT drog	→ mešani gozd	drugi objekti el. infra.	
• elektro drog n. n.	→ park	plin	
• elektro drog v. n.	→ grmovje	javna razsvetljava	
• antena	→ vinograd	prikaz katastrske meje	
• permanentna GPS pos.	→ naravnostna zemljišča	urejene meje	
• poligonska točka	→ gnojna jama	število parcele	965/25
• p. točka ETRS koo	→ samofar		
• trig. p. točka	→ kletnica		
• tri. p. točka ETRS koo	→ železniški signal		
	→ versko znamenje		
	→ spomenik		



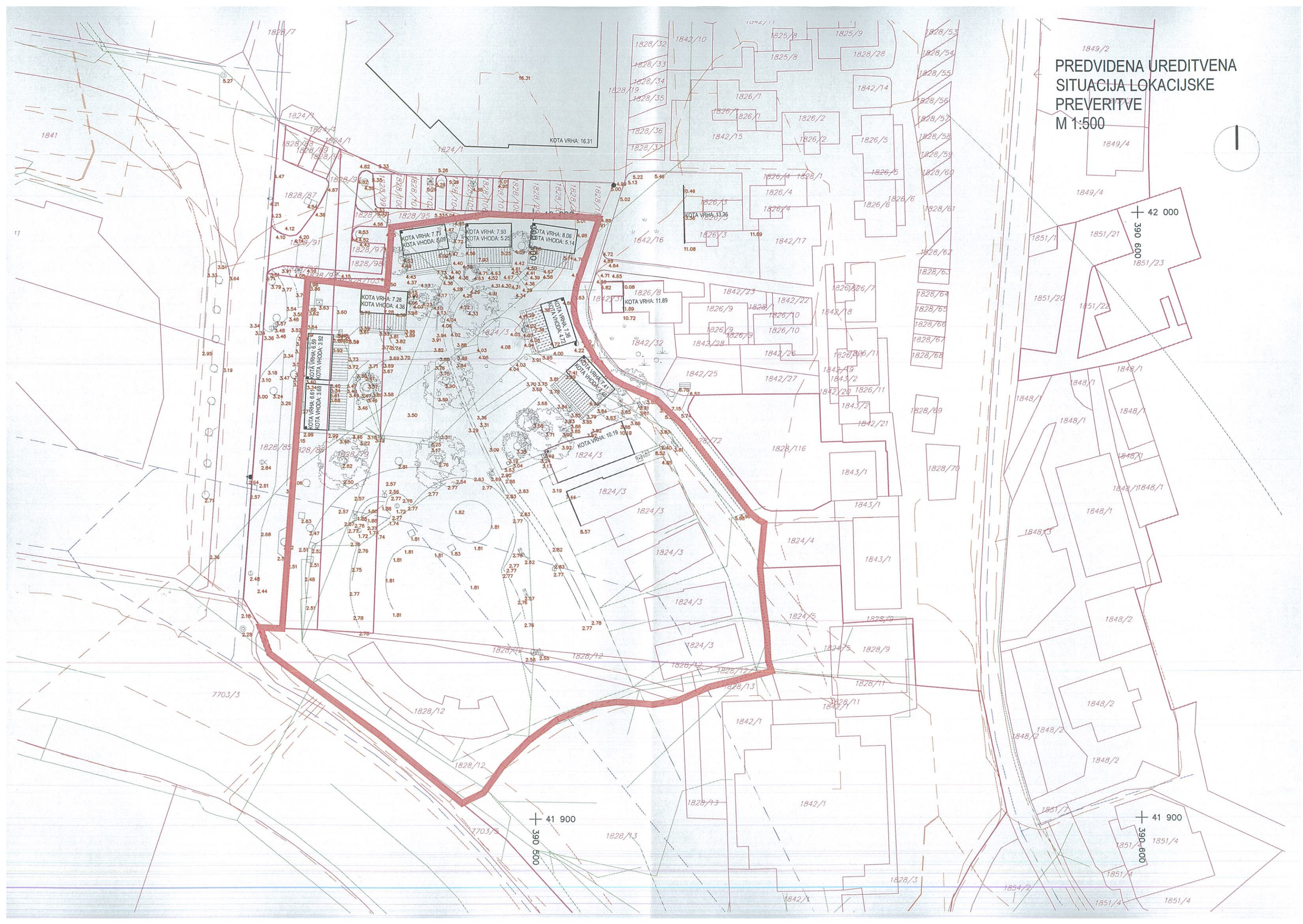
IZVAJALEC GEKOM podjetje za geodezijo d.o.o. Nanoška ulica 6, 1000 Ljubljana, id. za DDV: SI65717066, mat. št. 5525322 tel.: 01-256-52-39, fax.:01-423-00-80gsm.: 041-979-362, E-mail:info.gekom@gmail.com, iztok.lampic@gekom.si		NAROČNIK EUROTAS HOTELI d.o.o. Krekov trg 4 3000 Celje	
PREDMET: GEODETSKI NAČRT		ŠT. GEODETSKEGA NAČRTA: GEK-218/2019	
DELOVIŠČE: K.O. 2631 - PORTOROŽ, PARC. ŠT. 1824/3, Mobilne hiške			
MEROILO: 1:500		DATUM: 11.10.2019	
IZDELAL: Nac Ermenc dipl.inž.geod.(UN)			
POOBLAŠČENI INŽENIR JAKA BLEJEC, univ.dipl.inž.geod., IZS Geo 453			



TOČKOVNI ZNAKI		LINIJSKI ZNAKI	
• stanovanjska stavba	→ elektra konžara	objekt	
• nadstrešek	→ predalčni stober	povezave	
✕ parkon	→ m. trafa postaja	zemeljski guben	
✕ samostojna streha	→ m. razdelilna postaja	ekolni rob	
/// poslovna stavba	→ elektra omara	rob brezna	
≡ zidana g. stavba	→ trafa postaja	zg. rob brežine nad 2 m	
≡ lesena g. stavba	→ razdelilna postaja	zg. rob brežine pod 2 m	
✕ samostojna streha	→ nosilni steb. pravokoten	ogroja	
/ rastlinjak	→ nosilni steb. okrogel	lesena ogroja	
⊕ kanalizacijski jošek	→ svetlobni jošek	žičnata ogroja	
⊕ kanalizacijski jošek	→ dimnik	živa meja	
⊕ meteorni jošek	→ jošek elektronskih kom.	podporni zid	
⊕ meteorni jošek	→ drog	zidana ogroja	
⊕ jošek javne razsvetljave	→ pokopališče	kamnika škrapa	
⊕ jošek javne razsvetljave	→ jošek javne razsvetljave	propust	
⊕ električni jošek	→ listnata drevo	meja pravnega režima	
⊕ električni jošek	→ iglasto drevo	državna meja	
⊕ telekomunikacijski jošek	→ grm	občinska meja	
⊕ telekomunikacijski jošek	→ manjša zelenica	meja katastrske občine	
⊕ jošek okrogel	→ manjši travnik	kanal ožji od 0,5 m	
⊕ jošek kvadraten	→ manjše grmovje	jarek z nestalno vodo	
⊕ paskolov	→ zelenica	kabelska kanalizacija	
⊕ požarnik podrobni	→ travnik	kanal za padavinske vode	
⊕ požarnik	→ sadovnjak	kanal za odpadne vode	
⊕ zapirac za vodo	→ njiva	telekomunikacije	
⊕ nadzemni hidrant	→ sadovnjak	vodovod	
⊕ podzemni hidrant	→ gozda listnati	vročevod	
⊕ zapirac za plin	→ gozda iglasti	elektrika nizne napetosti	
⊕ svetilka na drugu	→ mešani gozd	elektrika visoke napetosti	
⊕ dekorativna svetilka	→ park	drugi objekti el. infra.	
⊕ PTT drog	→ grmovje	plin	
⊕ elektro drog n. n.	→ vinograd	jarna razsvetljava	
⊕ elektro drog v. n.	→ nerazovirna zemljišča	prikaz katastrske meje	
⊕ antena	→ gnojna jama	urejena meja	
⊕ permanentna GPS pos.	→ samofar	števila parcele	965/25
⊕ poligonska točka	→ kretnica		
⊕ p. točka ETRS kao	→ železniški signal		
⊕ trig. p. točka	→ versko znamenje		
⊕ tri. p. točka ETRS kao	→ spomenik		



IZVAJALEC GEKOM podjetje za geodezijo d.o.o. Nanoška ulica 6, 1000 Ljubljana, id. za DDV: SI65717066, mat. št. 5525322 tel.: 01-256-52-39, fax.: 01-423-00-80, GSM: 041-979-362, E-mail: info.gekom@gmail.com, iztok.lampic@gekom.si		NAROČNIK EUROTAS HOTELI d.o.o. Krekov trg 4 3000 Celje	
PREDMET: GEODETSKI NAČRT		ŠT. GEODETSKEGA NAČRTA: GEK-218/2019	
DELOVIŠČE: K.O. 2631 - PORTOROŽ, PARC. ŠT. 1824/3			
MERO: 1:500		DATUM: 27.03.2019	
IZDELAL: Nac Ermene dipl.inž.geod.(UN)			
POOBLAŠČENI GEODET Sašo Bucej, dipl.inž.geod., IZS PI Geo 0544			



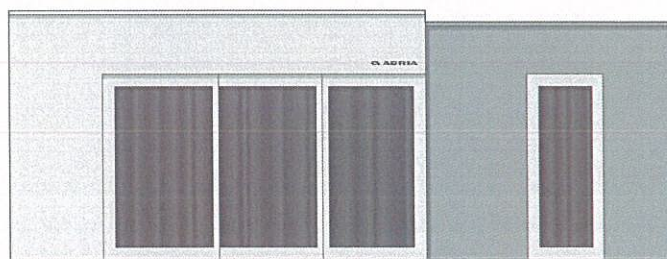
M 1:500


$$\begin{array}{r} 42\ 000 \\ + 390\ 600 \\ \hline \end{array}$$

41 900
390 600

Instruction Manual

ENGLISH



MOBILE HOMES

Instruction Manual

Dear customers,

We would like to congratulate you for purchasing your new Adria mobile home, and thank you for your trust in our trademark. We believe that you and your family and friends will spend many happy moments in this home.

For over 50 years, our company has produced reliable and innovative, high-quality products. We are proud to present the product that combines maximum functionality, quality and the latest design in order to ensure you a comfortable and safe home in the nature.

This manual will provide you some basic advice for proper use and maintenance of your new Adria mobile home, as well as the information needed to keep this investment in the best possible condition. Furthermore, the manual contains warranty for your mobile home.

In case of any further explanation needed, you are welcome to contact your official supplier or, if you prefer, turn directly to our Customer Relationship Department.

The Adria team wishes you, your family and friends to spend many memorable moments in your new mobile home.

Adria Home

The information in this manual is general. It is not to be interpreted as a contractual agreement and does not bind the company in any way. The company reserves the right to change its models without previous notification; therefore, certain types of information in this manual may not correspond to the purchased model.

Pursuant to the regulation EN 1647, the mobile home is considered a mobile camping vehicle, which does not meet the requirements for the construction and use of road vehicles, but it is equipped with means of moving and is intended for temporary seasonal accommodation.

Table of contents

1. Supply and test	5	7. Instructions For Transport And Setting Up	17
2. Detailed description	5	7.1. Loading and unloading with tow	17
2.1. Classification by snow load	5	7.2. Loading and unloading with crane	18
2.2. Classification by thermal insulation	6	7.3. Road transport	18
2.3. Fresh food storage	6	7.4. Setting up	18
3. Lines And Household Appliances	6	7.5. Anchoring	21
3.1. Water	6	8. Warranty	23
3.2. Outlets	6	8.1. Committed to excellence	23
3.3. Electricity	7	8.2. Adria Home warranty	23
3.4. Gas	7	8.3. Most important things you need to know	23
3.5. Household appliances	9	9. Important Safeguards (Summary)	25
4. Maintenance	9	9.1. Supply and test	25
4.1. Installations	9	9.2. Outlets	25
4.2. Flooring	10	9.3. Electricity	25
4.3. Provision for sufficient under-floor area ventilation	10	9.4. Gas	25
4.4. Exterior walls	11	9.5. Household appliances	26
4.5. Roof	11	9.6. Provision for sufficient under-floor area ventilation	26
4.6. Upholstery	12	9.7. Roof	26
4.7. Shower panels and base	12	9.8. Loading and unloading (crane)	26
4.8. Devices	12	9.9. Setting up	27
5. Recommendations	13	9.10. Warranty limits	27
5.1. In Case of Fire	13	10. Check List For Successful Maintenance	28
5.2. In Case of Gas Leak	13	11. Annual Inspection Form	29
5.3. Overwintering	13	12. Warranty Sheet	31
5.4. Condensation	15		
6. Warning	16		

1. Supply and test

Before the supply of your mobile home, the supplier made a test to check if the unit contained all elements indicated in your catalogue and that it was clean and faultless. If you find any deviations of the above, please, inform your authorised supplier.

The person setting up the mobile home is responsible for correct connection and levelling of your mobile house. This person is also responsible for the installation and attachment of the chimney on the roof (the chimney is removed before the transport).

Water, electrical and gas lines were checked in the factory, however damage may occur during the transport as a result of vibrations. When water, electrical and gas lines are installed, it is the final installer's responsibility and duty to check the correct functioning of these lines as well as of all household appliances.



IMPORTANT

When installing the electrical line of the mobile home to the main board, it is important to check the grounding and that the phase and neutral conductors are correctly connected. The connection and inspection must be carried out by an authorised installer.

For your safety, do not forget to check if ventilators are passable before the first use.

Standard models of Adria mobile homes are not intended for extreme weather conditions (temperature, humidity, wind, etc.). If you want to set up the mobile home in an area characterised by any of such weather conditions, you should consult our Technical Department, where you will be informed on necessary changes or adjustments.

2. Detailed description

2.1. Classification by snow load

The structure of the mobile home is compliant with EN 1647; it is classified in level B of the structural classification of mobile holiday homes. It can hold an even snow load of 150kg/m² under the condition that it is supported according to the instructions from the manufacturer.

As regards the very location of the first placement, recommendations of EN 1991 standard are considered.

2.2. Classification by thermal insulation

The classification of a mobile holiday unit as regards the thermal insulation and heating is indicated in the technical specification of the product. If the classification is not indicated in the mentioned plan, it is classified in level 1 in accordance with EN 1647 – classification of thermal insulation and heating.

2.3. Fresh food storage

The place intended for fresh food storage is the refrigerator.

3. Lines And Household Appliances

3.1. Water

We recommend using a maximum pressure of 5 bars and minimum of 1 bar. If higher pressure is implemented, the manufacturer cannot guarantee impermeability of the system.

The lines are comprised of polyethylene hoses, which are flexible and light, lead-free, stainless, heat transfer is minimal as a result of low thermal conductivity, and hoses do not represent a risk of burns. The method of joining makes them easy to be installed and maintained.

Damage of fixtures and fittings arising from excessive pressure or dirt (e.g. lime-scale) is not subject to complaints.

Pipes used in Adria mobile homes have a diameter of 15mm and 22mm.

3.2. Outlets

The installation anticipates centralised connection. Pipes are made from PVC.

The drain pipe must have a minimum 1% slope and must be attached to the frame at least at every 60cm.



IMPORTANT

Do not use aggressive products that could damage outlets, when you want to unclog outlet hoses. Damage caused by the use of aggressive chemicals or physical force is not covered by warranty.

Pipes for the installation of the waste-water outlets have a diameter of 110mm and 40mm.

3.3. Electricity

The operating voltage of electrical installation is 230V 50Hz; ambient lighting (and in some models main lighting) also employs 12V.

The connection of electrical installation must be carried out by an authorised installer.

The electrical installation plan with the switch box is located in the technical specification of the product.

The basic configuration of the switch box comprises:

- 1 residual current circuit breaker (30mA)
- 1 installation circuit breaker – safety fuse 10A for lighting
- 1 installation circuit breaker – safety fuse 16A for sockets

An appropriate safety fuse is installed for optional variants

Some LED lamps use DC voltage of 12V

Addition of other mechanisms depends on household appliances and devices, which you want to connect.

In case of changing light bulbs, appliances or devices make sure they have the same characteristics to the original ones in order to prevent overload.

If your home is equipped with the winterkit option (heating of water installation), the winterkit system is turned on by switching the fuse to the position I – ON, while in summer months it must be switched to O – OFF. The system is effective to –20°C. In the event that the temperature is lower than –20°C, the water can freeze in the pipes, thus prior release of water from the system is required.



IMPORTANT

Do not make any modifications on the electrical installation without prior consultation with the officially recognised manufacturer.

3.4. Gas

Gas installation is compliant with EN 1949.

Please, note that gas installation is intended to operate at low pressure, with propane or butane. For a normal functioning of devices, use corresponding pressure indicated on a device (label). To prevent incorrect functioning of devices, do not use pressure higher than 50 mbar. It is necessary to provide appropriate operating pressure and type of gas according to local law and regulations.

For safety reasons, we recommend you to always close the block valve for the stove and oven when not in use.

All burners on gas appliances installed in your mobile home are equipped with thermal safety switch, which blocks gas supply when the flame stops.



IMPORTANT

Please note that it is forbidden to cover or obstruct the safety ventilation (also relevant for gas box)!

If your mobile home is equipped with a switching valve, it must be installed by an officially recognised person.

In the event that the gas regulator is not an integral part of the gas installation, it has to be mounted behind the cylinder, in accordance with local legislation.

In the event of transporting your mobile home to another location, the valve must be closed and the cylinder physically removed from the gas box.

If these instructions are not followed, any malfunctions will not be grounds for a complaint.

Replacing a gas cylinder:

- If cylinders are placed in a cabinet or a closed room, make sure the room where you will replace the cylinder is well ventilated
- Make sure there is no flame nearby (stove, grill, cigarette, etc.)
- Turn off all appliances
- Close the main shut-off valve of the installation
- Disconnect the empty gas cylinder
- Depending on the regulation mechanism, the cylinder can be disconnected by untightening it or by pushing upwards the circumferential ring on the regulator
- Connection of a new cylinder. Attach the regulator to the cylinder by tightening or pushing when you install the regulator to the cylinder
- Check if the connection has been successfully made and that gas is not leaking at any place (soapy water, spray)
- Open the shut-off valve of the gas line

Use 10kg gas cylinders.



IMPORTANT

For your safety, we advise you to make sure all changes on the gas line are carried out by an officially recognised person.

Do not allow any other persons to make modifications of the gas system; otherwise, any malfunctions or accidents shall not be subject to complaints.

3.5. Household appliances

Mobile homes are equipped with a refrigerator, a stove, an exhaust hood, and a water heater; optionally they can also include a dishwasher, a microwave, an oven, a washing machine, and other household appliances (depending on the model and options ordered).

In order for the refrigerator to work properly, place it vertically and wait for 12 hours before connecting it to the electrical installation. When moving the refrigerator to its intended position, protect the floor of the mobile home to prevent damage to the flooring.

While using installed household appliances and devices connected to the fittings in the mobile home, a user must act in accordance with the requirements for proper functioning, described in the instructions manual for each device, at all times. Special attention must be paid to the minimum distances between heating devices and inflammable materials.

Each household appliance in your mobile home is equipped with its own instructions manual and manufacturer's warranty. Please, read instruction manuals carefully and keep them in a safe place together with this manual.



IMPORTANT

We recommend that any household appliance is installed by a qualified person.

Do not allow any other persons to install or modify household appliances; otherwise, any malfunctions or accidents shall not be subject to complaints.

4. Maintenance

In order to make your stay in the mobile home pleasant and safe, regular maintenance must be made before and after the season. To maintain a high level of protection, the replacement of parts of any device in the mobile home must comply with the specifications of its manufacturer and be performed by any of the manufacturer's representatives or its authorised agent.

4.1. Installations

Water, gas and electrical lines must be inspected annually by qualified personnel in compliance with the legislation, valid in the area where the mobile home is set up.

4.2. Flooring

The floor is covered with vinyl coating, which is cleaned with classical household cleaning agents. Do not use aggressive cleaning agents as they might damage floor coverings. Do not use big amounts of water for cleaning, as it would damage the lower parts of the furniture and floor laths.

4.3. Provision for sufficient under-floor area ventilation

To meet the ventilation requirements, ventilation openings must be provided (min. 20%) on all sides of the skirting under the steel base. Due to air circulation, at least a 3 cm gap must be provided on the upper and lower part of skirting, around its entire perimeter (Figure 1).

It is necessary to ensure sufficient water drainage by implementing suitable drainage channels and appropriate ground inclination.

We recommend an inclination with a 5 cm altitude difference between the center and the edge of the house. The inclination must provide sufficient and constant drainage from under the mobile home. Additionally, the water must be drained around the house – at least 1m from the edge. If the terrain does not allow it, the drainage must be implemented via drainage pipes.



IMPORTANT

Humidity under the chassis may cause serious damage to the load bearing capacity of the floor and other parts of the mobile home.

If these instructions are not followed, any damage to the floor will not be grounds for a complaint.

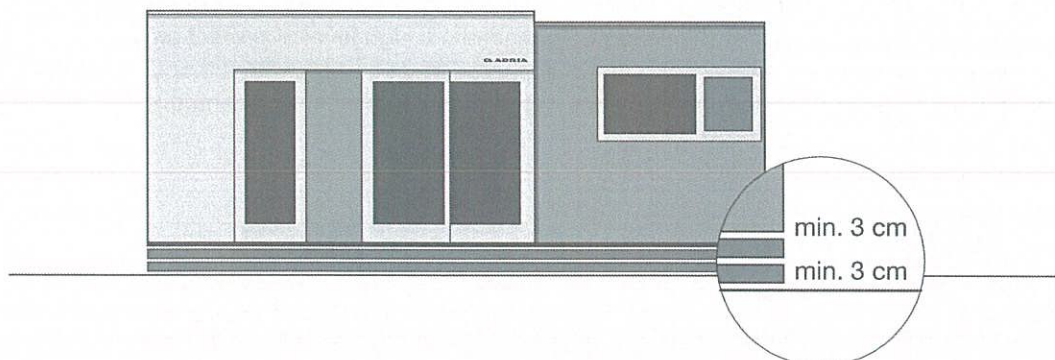


Figure 1: An example of skirting

A MOBILE HOME MUST BE LEVELLED!

4.4. Exterior walls

Outer cover of your mobile home can be made from PVC, zinc plate, wooden derivatives, or classic facade. In any case, the exterior can be kept clean with very little effort. Use water with detergent and nylon brush to prevent any damage to the surface. Never use lye or diluents. Do not clean external walls using a pressurised water jet.

4.5. Roof

Inspect the roof once a year, remove leaves and pine needles from it, and determine the condition of the roof. Usually, rain cleans the roof surface, although it is possible that needles and leaves gather at some places, which may cause rust. Clean such spots with water and a brush with nylon bristles, always moving from up down. If you notice rust on a certain spot, remove it and apply anti-corrosion paint protection on the spot. When the surface is dry and clean, repeat the repair with paint coat.

Do not clean the roof using a pressurised water jet.

Protective paint may crumble off at some spots, for example if a cone falls on the roof. In such case, we recommend you to clean the rust and apply paint coat on damaged areas. Contact surfaces, in particular, should be inspected and smeared.

As already mentioned in paragraph 2.1, the mobile home is classified in category B in accordance with the EN 1647 regulation. This applies for the snow load of 150 kg/m², which corresponds to the thickness of snow cover between 40 and 100cm of snow (depending on whether snow is frozen or fresh).

Do not step on the roof. Perform cleaning and maintenance by using ladders or other accessories positioned adjacent to or above your mobile home. Larger maintenance works must be performed by our qualified person or an authorised representative.



IMPORTANT

It is important that there are never any leaves and needles in gutters, as this may block the gutters, leading to water leaking in the interior of your mobile home.

The mobile home must not be used if the load on the roof exceeds 150 kg/m², unless the option for a heavier load is installed (up to 250 kg/m²).

Damages to equipment, walls and floor due to water leaks caused by uncleaned gutters shall not be grounds for complaint.

Damages to the roof, walls, ceiling, or other load-bearing elements caused by a too heavy load (uncleaned snow) shall not be grounds for complaint.

4.6. Upholstery

Our mobile homes are equipped with pillows and pillowcases, which can be removed and cleaned. We recommend dry-cleaning for pillowcases. Fabrics and other materials can lose colour if exposed to strong light for a longer period of time. We recommend you to protect the interior of the home against sunlight as much as possible, in particular during the overwintering.



IMPORTANT

Clean the furniture with a damp cloth and non-aggressive cleaning agents to avoid any damage to the particle board, adhesive joints, and ABS.

Do not leave wet cloths on wooden parts of the furniture. If the furniture surface is wet, wipe it dry.

If these instructions are not followed, any damage to equipment will not be grounds for a complaint.

4.7. Shower panels and base

Do not use aggressive cleaning agents when cleaning shower panels and the base, since this will shorten their life-span. Aggressive cleaning agents can damage the protective coating, this weakening its structure.

Shower is intended for showering of only one person. If two or more persons shower at the same time, this can lead to overloading the shower base.

4.8. Devices

Each device connected in the mobile home must be maintained in accordance with instructions for its use.

To maintain a high level of protection, the replacement of parts of any device in the mobile home must comply with the specifications of its manufacturer and be performed by any of the manufacturer's representatives or its authorised agent.

5. Recommendations

5.1. In Case of Fire

- Evacuate the mobile home. Make sure there is nobody left inside.
- Close the outer gas valve. Remove the gas cylinder, but only if it represents no danger.
- Disconnect the electrical line.
- Call the fire brigade.
- If it is safe enough, prevent fire expansion.

Please note: In order to prevent an accident, never leave children alone in the mobile home.

5.2. In Case of Gas Leak

Follow the next steps in sequence:

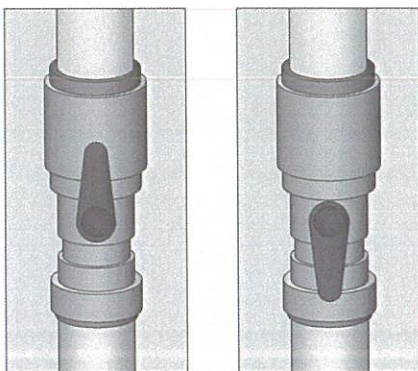
- Do not handle any electrical mechanism or device. Do not approach with open fire, cigarettes, etc.
- Close the main gas shut-off valve.
- Ventilate the room.
- Call for a repair technician to establish and remedy the malfunction.

5.3. Overwintering

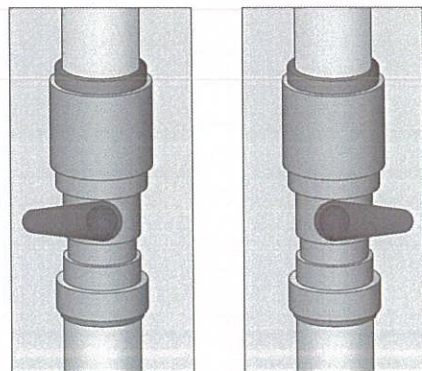
If you do not use the mobile home during the winter, you must follow the next steps at the end of the summer season:

- Close the main valves of the gas and water lines.
- Empty the cold water line (the valve of this device is located under the gas heater (boiler)).

Valve is open:



Valve is closed:



5. RECOMMENDATIONS

- Empty the water from the warm water line (the valve of this line is next to the cold water valve).
- Close and empty the gas heater (boiler) as instructed by the manufacturer.
- In case of a gas boiler, we recommend covering the chimney before the winter.
- Open all water taps, including the shower tap to eliminate water from all pipes. Water taps can be closed only after all water is completely emptied.
- Flush the toilet until the toilet cistern is completely empty. Pour some anti-freeze liquid into the toilet water in the toilet siphon to keep it from freezing.
- In the winter or in areas with low temperatures, pour anti-freeze liquid into the washbasin, sink, shower bath and the toilet to prevent the toilet siphon from freezing.
- We recommend you to turn off the refrigerator, empty and clean it, leaving the door open.
- Move the pillows and mattresses away from walls to ensure air passage; otherwise, mould may occur.

The user or owner of the mobile home is responsible to properly follow the above-mentioned instructions in order to avoid eventual bursting of water pipes.

In humid climate, place 3kg of salt to the interior of the mobile home. Salt absorbs moisture. All the equipment should be as ventilated as possible; thus, you should leave the closets as well as doors of all rooms open.

The use of the mobile home in wintertime (temperatures under 0°C) is possible provided that heating is provided for the premises along with insulation and the winterkit system is used for heating water pipes that run under the chassis. If the mobile home is not used or heated, and the winterkit system is not used, the water supply system is to be emptied pursuant to the points stated above (overwintering).

The mobile home is intended to be used at weekends or during the summertime. Therefore, the manufacturer rejects any responsibility in case the mobile home is used intensively or even as permanent residence.

5.4. Condensation

Users are well-acquainted with this problem. The smaller the living surface, the more obvious is the condensation problem. In an optimally insulated mobile home, the condensation process is slower, but this does not necessarily mean that it does not exist.

Water vapours are produced when people in the mobile home breathe, when gas is being combusted, food cooked, and when hot shower is on. The fact is that a certain amount of air at a certain temperature cannot absorb more than a certain amount of water vapours. If the temperature is lower at a certain spot in the mobile home, for example on windows, it will decrease the level of absorption, and there will be dew appearing on windows: this is condensation.

In order to limit this natural phenomenon as much as possible – especially in the wintertime – the following steps should be taken:

- Do not close or obstruct any of the vents in the mobile house in order to prevent any serious problems with humidity condensation. The manufacturer has produced the vents in accordance with the applicable regulations.
- Before cooking or taking a shower, wait for the mobile home to warm up to the room temperature: this will decrease the condensation of the vapour on cold walls.
- Never use open flame gas heater for heating, as this way of heating is humid and quickly causes vapour accumulation on the walls of the mobile home. We recommend heating with electric heaters. If gas is used for heating, you must ensure that combusted gas is vented to the outside of the mobile home.
- We recommend turning on the cooker hood or opening a window while cooking to ensure better air ventilation.

If the mobile home is used in a very humid or cold climate, we recommend you to install an air dryer. If these devices run on electricity, it is necessary to check their specifications. This will make the interior of the home more comfortable due to decreased condensation, humidity and the smell of mould in clothes and furniture fabrics.

6. Warning

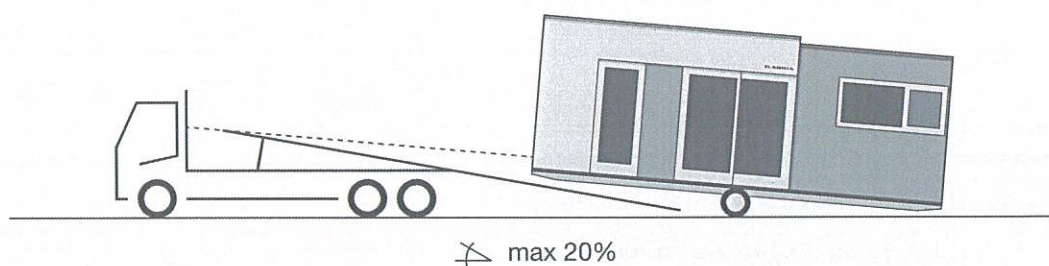
- Get familiar with the location and operation of emergency exits. See to it that none of the emergency exits is blocked.
- Use the upper beds only for sleeping, providing for suitable protection against falling from such beds.
- Extra protection should be ensured when children are using such upper beds, especially those under the age of 6; small children should never use such beds without adult supervision.
- Never block ventilation, not even partially.
- The wire netting of safety vents should never be dirty or dusty.
- Regularly check the condition of the flexible connection hoses of gas devices. If any of the hoses should be replaced, use type-approved models. Never exceed the expiry date printed on the hose. Prevent any tension of flexible gas installation.
- Always have a fire extinguisher with a dry extinguishing agent of the minimum capacity of 1kg ready. It should be type-approved or in accordance with the requirement of the EU standard EN 3-7. Install the fire extinguisher near the main entrance door, and have a fireproof blanket prepared near the kitchen.
- Read the instructions for your fire extinguisher and the locally applicable fire safety precaution carefully.
- Never use portable cooking equipment or portable heating equipment, except electric heaters without direct thermal radiation. In the opposite case, you are being exposed to the risk of fire or suffocation.
- Never allow or do any kind of change on electrical and gas systems and devices. This can be done only by authorised installers.
- Never use open flame devices, such as that on the stove, to heat any room.
- It is forbidden to insert any material other than gas cylinder into the place intended for the gas cylinder (gas box).
- If your mobile home features optional floor heating, do not use carpeting or any floor covering in that place.
- Special care must be taken with snow overload. It is important that high-level ventilators and chimney outlets or devices are not blocked in such circumstances.
- For safety reasons, spare parts of each device must comply with the specifications of the device manufacturer. Replacement must be made by any of the manufacturer's representatives or its authorised representative.
- Do not place a grill or fireplace near the mobile home. If the outer coatings of the mobile home are exposed to sources of high temperature, they might get damaged, and vinyl can melt if it is near strong heat.
- Sockets inside the mobile home can be used only for the devices they are intended for. The use of external devices is not allowed if they are connected to an internal socket.
- To exercise warranty you must comply with all instructions above.

7. Instructions For Transport And Setting Up

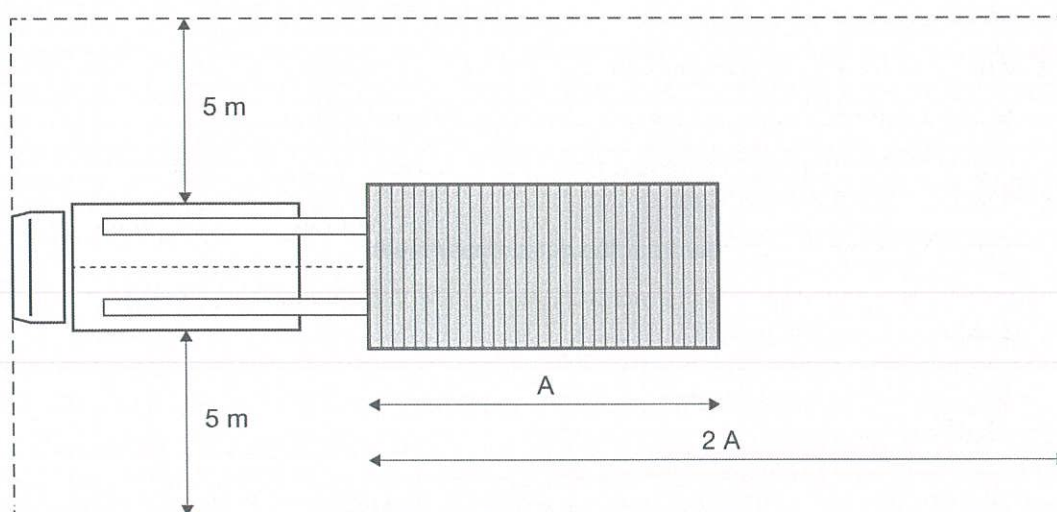
7.1. Loading and unloading with tow

The mobile home can be towed on a flat surface with a tow bar. On terrains with a slope more than 5% or during loading on a truck you should use the holes on the frame used to connect the mobile home.

When loading on a truck, care should be taken that the inclination of the loading ramp does not exceed 20%. Connection should be made using the above-mentioned holes, which are located on the frame.

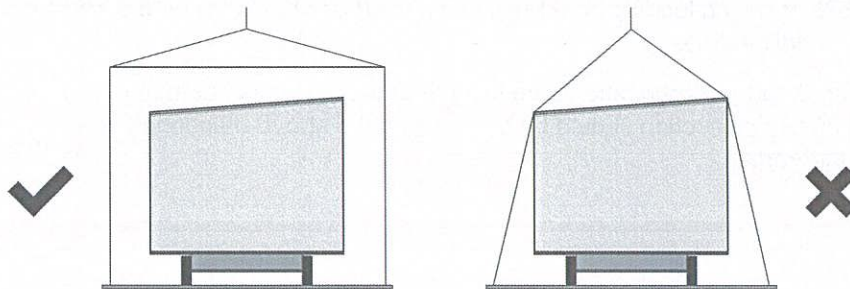


During loading and unloading, there should be no unauthorised person in the safety area.



7.2. Loading and unloading with crane

Always use bars that are longer than the width of the mobile home and equipped with side finishings, which prevent the cargo from moving.



IMPORTANT

Never install cables of different lengths between support bars.

Never hang the mobile home without support bars and by creating pressure on the side walls.

7.3. Road transport

The mobile home, which you have loaded, must be immobilised well and supported only on the sides.

Before going on the road, check the following:

All windows and doors of the mobile home must be closed well.

All equipment in the interior of the mobile home must be supported and joined or tied: tables, chairs, refrigerator, beds, etc.

Physically remove the gas cylinder from the gas compartment.

If there are hanging lamps inside the mobile home, we recommend you to take them off and protect them.

7.4. Setting up

The site where the mobile home will be set up must meet the following conditions:

It must have place for manoeuvring as described in point 7.1.

The ground must be level and solid (in any climate condition). We recommend preparing the site with a cement base or a mobile cement support (blocks). The required preparation of the base must comply with the declared weight of the mobile home and the expected anchor points declared for each individual mobile home; otherwise subsidence may occur. In case terrain is not prepared appropriately, the mobile home may subside, which can lead

to irreparable deformations, sagging of equipment, builders' joinery, furniture, etc. In this case, the warranty cannot be exercised.

It must be equipped with rainwater drainage system.

It must have water, electricity and sewage connections.

It must have a minimum of 4 to 8 anchor points (depending on the model).

The mobile home is placed on marked locations on the chassis. The number of support points depends on the size of the mobile home.



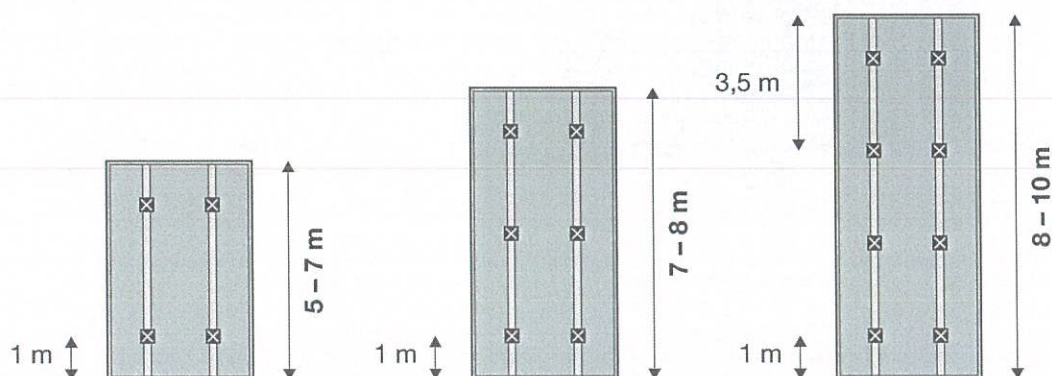
IMPORTANT

If you have installed laths around the mobile home, you must at all times provide for good ventilation of under-floor area (min. 20%) on all sides of the skirting in order to prevent condensation in the ground. If the under-floor enclosure (chassis) is closed or walled, the ventilation system cannot perform its function (see PRECAUTION). In this case, the manufacturer cannot recognize any claims made about the resulting damage (decay, bloating, and deformation of floor particle boards or other wooden elements, etc.).

In accordance with provisions in the EN 1647 regulation, the mobile home is equipped with 4 anchor points, which are located at a distance of 1m from the edges of the sides of chassis.

Anchor points are used for fixating the mobile home and ensure its stability and durability against overturning. Anchoring the mobile house is recommended for locations with strong winds.

According to the length of the mobile home, additional support points are needed (see the figure attached).



The labels on the chassis mark the position of each support point.

7. INSTRUCTIONS FOR TRANSPORT AND SETTING UP

Unload and place the mobile home on solid ground. Then use the tow bar to deliver it to its final location if the inclination of slope does not exceed 5%. If the slope is steeper, use the holes on the frame.

The required distance from the floor to the panel (during setting up) is at least 52cm.

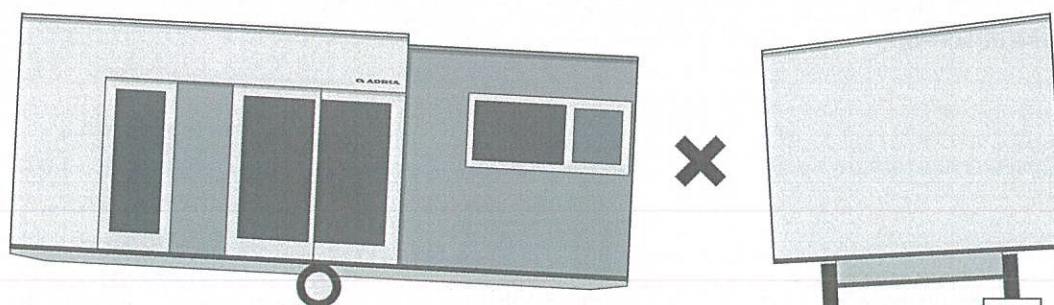
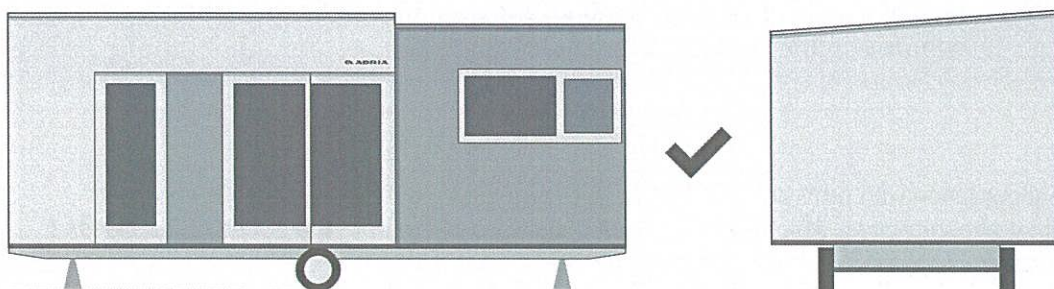
Once the mobile home is at the final location, level it with hydraulic lifting levers, which can be installed only on the sides (sigma Σ).

The levelling process can be made with two hydraulic lifting levers simultaneously or the lifting can be done gradually from both sides in order to prevent any possible deformation.



IMPORTANT

A MOBILE HOME MUST BE LEVELLED!

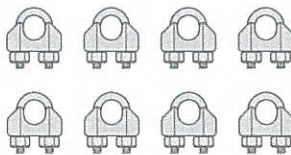
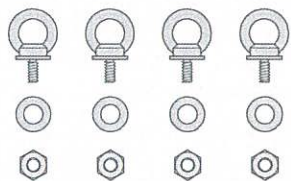
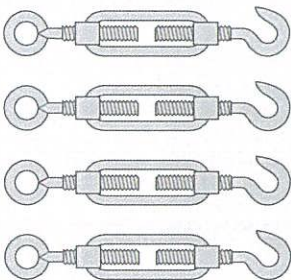


When the mobile home is supported with the mentioned pillars, you can add more pillars to critical areas, such as access points or terraces even though this is not crucial.

If you do this, be careful to install them only along transversal beams of the frame.

7.5. Anchoring

In locations with strong winds, a mobile house must be anchored as shown below.

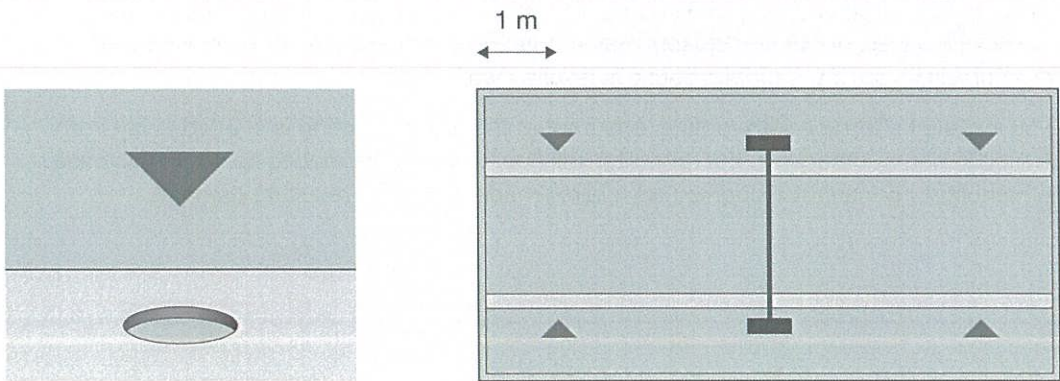


Material

Tensioner	4 pcs
Eyebolt M12	4 pcs
Washer M12	4 pcs
Nut M12	4 pcs
Steel Rope Connector 8 mm	8 pcs
Steel Wire Rope 8 mm	1,6 m

Anchoring position

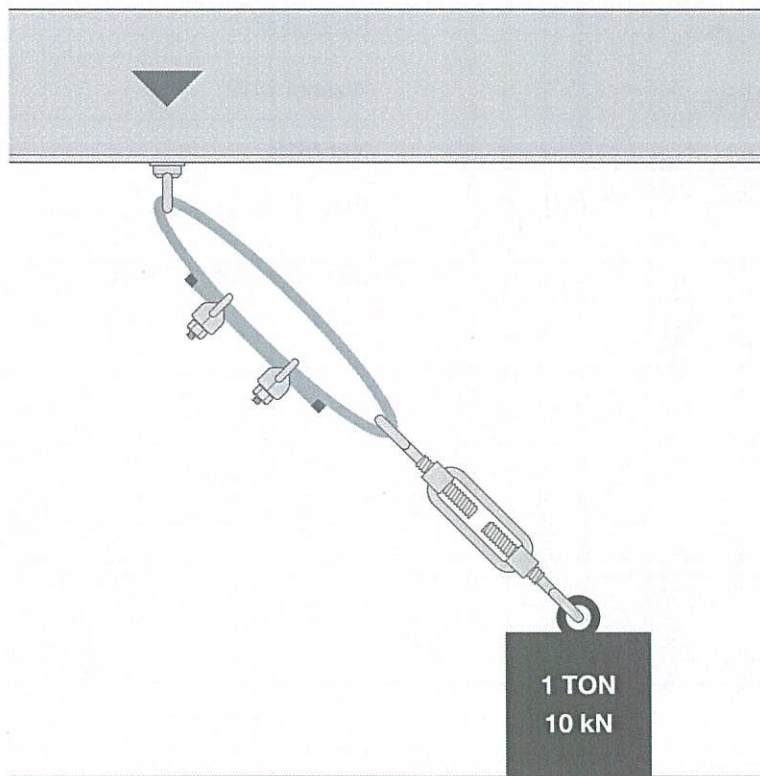
Points of application (drill holes) are on the underside of the longitudinal profile of the chassis. They are located 1m from the edge and are labelled. The arrow indicates the support point.



Anchoring

Assemble the elements as shown on the picture:

- Screw the eyebolt onto the chassis
- Bind the steel rope (fi 8) twice with a steel rope connector (fi 8) 10 kN.



Each anchoring point on the floor must have the ability to resist a force of at least 10 kN. The point of application must be suitable for applying a binder.

Please, check whether your mobile home is levelled and adjusted. If the mobile home is not levelled well, doors and closets may not fit and can therefore not be closed well. Occasionally check if the mobile house is levelled well.

If you installed a terrace with roofing, ensure that the terrace roofing is slanted away from the mobile home, otherwise, the rainwater will flow towards the mobile home. In this case, the manufacturer cannot recognize any claims made about the resulting damage.

8. Warranty

8.1. Committed to excellence

Adria Home has a commitment to pursue the sustainable development, production and marketing of quality mobile homes. Our goal is to produce safe, functional and reliable products to satisfy customers wishing to spend their leisure time.

Everything from purchasing materials to selling the product – we do our best to prevent sources of mistakes, detect any mistakes that may occur as soon as possible and immediately eliminate them, as well as constantly improving all processes in the company. Our state of the art factory uses world class manufacturing techniques from the automotive industry and is ISO certified for quality (ISO9001).

Adria Home products come with a class-leading warranty, providing reliable repair services, backed up by a world-class parts supply operation.

8.2. Adria Home warranty

2-year warranty*

See below for details or contact your Adria dealer.

7-year warranty*

See below for details or contact your Adria dealer.

General warranty terms and conditions (summary)

The buyer has the right to assert claims in case of missing material or visible injuries within 15 days from the purchase.

The full warranty policy documents can be inspected at your authorised Adria Representative and you should be made familiar with them when purchasing your Adria mobile home.

8.3. Most important things you need to know

Limitations of warranty and other disclaimers become part of the purchase agreement, i.e. part of the legal agreement between the manufacturer/seller and the buyer, if they are to be legally valid, these provisions must either be entered into a contract or purchase order signed by the buyer, in which the buyer states that he/she is familiar with the general conditions (where certain exclusions of liability also occur) and has received them.

When selling to companies, the manufacturer's warranty is the one depicted in the sales agreement.

The buyer receives full warranty (for elements and workmanship), valid two years from the date of purchase for all factory malfunctions or hidden defects. The manufacturer cannot provide any special features or usage of the mobile home, as declared in Clause 3 of the EN 1647.

8. WARRANTY

The Manufacturer is liable to replace all parts with factory defects, free of charge. Warranty refers to the malfunctioning parts and/or elements as well as mounting, except for the parts and/or elements, which deteriorate due to attrition, such as glass, windows, tires, and such equipment as the fridge, and other in-built devices, to which individual manufacturers' warranties refer.

Warranty also does not refer to parts and/or elements which deteriorate due to carelessness or improper handling, poor maintenance, overloading or inattentiveness (water pipes, shower base, shower plates, wet cabinets, additional unforeseen electricity connections, etc.).

Warranty does not refer to varnish scratches on interior or exterior walls, furniture, appliances, or any other equipment, discovered after the purchase. Warranty also does not refer to varnish damages that appear due to usage of abrasive and dissolving materials.

Repairs under warranty are free of charge if carried out in accordance with the details of the warranty policy and are undertaken by an authorized Adria representative. During repair time the customer is not entitled to indemnity due to not being able to use the mobile home. Replaced parts and/or elements remain the manufacturer's property. The purchaser has to report all discovered defects immediately and exclusively to an authorised Adria representative. The manufacturer reserves the right to accept or deny a defect report.

The purchaser has to report all discovered defects to an authorised Adria representative within 7 days from discovery; otherwise the damage is not subject to warranty.

Installed devices, which are not produced by Adria Home have their own user manuals and warranty documents, which are enclosed in the mobile house. The warranty period for the installed device is determined by the manufacturer. Installed devices include: cooktop, refrigerator, water heater, convactor, washing machine, oven, air-conditioning, television and all other optionally installed equipment. For other elements, the Adria warranty is limited to a replacement or repair of an element or elements, which have been found unsuitable, and for the work required by such repairs.

If a user is performing maintenance works described in point 4, the warranty period can be prolonged by a total of 3 years exclusively for malfunctions affecting the water resistance of the mobile home (water resistance warranty). Water leaking with severe consequences regarding the life-span and usage of the Adria mobile home. This warranty applies only to a unit that was subject to the exercise of the relevant annual maintenance by authorised personnel, otherwise the warranty ceases to exist as it was not possible to discover errors or malfunctions in a timely fashion, and these malfunctions were subject of the complaint.

The manufacturer ensures a 7-year warranty for certain elements of the mobile home, under the condition that the user complied with the instructions present in this manual, that the user implemented all necessary maintenance procedures, and enabled annual inspections (before or after the season) and/or appropriate activities of the Adria Home company or its authorised representatives.

Warranty refers to corrosion of structural elements, roof, chassis, and exterior PST panels.

The constructor's liability is limited exclusively to the above-defined warranty and to the extent provided by legislation in force. Adria Home shall not be liable for any damage, indirect or direct, on persons or objects, even if resulting from an error or defect on the sold material.

The manufacturer is not at all responsible for eventual accidents and/or damages of people and things, which may occur during the usage of the vehicle although the event may have been caused by a defect itself.

In the event that your mobile home is in need of repairs, contact our authorised representative.

Adria Home is not responsible for mounting, changes, performed on the caravan by a third person. In such event the warranty ceases to exist.

Any eventual disputes between the parties regarding an indemnity claim are settled in the competence of a court of law.

9. Important Safeguards (Summary)

9.1. Supply and test

When installing the electrical line of the mobile home to the main board, it is important to check the grounding and that the phase and neutral conductors are correctly connected. The connection and inspection must be carried out by an authorised installer.

For your safety, do not forget to check if ventilators are passable before the first use.

9.2. Outlets

Do not use aggressive products that could damage outlets, when you want to unclog outlet hoses. Damage caused by the use of aggressive chemicals or physical force is not covered by warranty.

9.3. Electricity

Do not make any modifications on the electrical installation without prior consultation with the officially recognised manufacturer; otherwise the possible malfunctions shall not be subject to warranty or complaint.

9.4. Gas

Please note that it is forbidden to cover or obstruct the safety ventilation (also relevant for gas box)!

If your mobile home is equipped with a switching valve, it must be installed by an officially recognised person.

In the event that the gas regulator is not an integral part of the gas installation, it has to be mounted behind the cylinder, in accordance with local legislation.

In the event of transporting your mobile home to another location, the valve must be closed and the cylinder physically removed from the gas box.

For your safety, we advise you to make sure all changes on the gas line are carried out by an officially recognised person.

Do not allow any other persons to make modifications of the gas system. Follow the instructions carefully. Otherwise, any malfunctions or accidents shall not be subject to complaints.

9.5. Household appliances

We recommend that any household appliance be installed by a qualified person.

Do not allow any other persons to install or modify household appliances; otherwise, any malfunctions or accidents shall not be subject to complaints.

9.6. Provision for sufficient under-floor area ventilation

To meet the ventilation requirements, ventilation openings must be provided (min. 20%) on all sides of the skirting under the steel base. Due to air circulation, at least a 3cm gap must be provided on the upper and lower part of skirting, around its entire perimeter (Point 4.3, Figure 1).

It is necessary to ensure sufficient water drainage by implementing suitable drainage channels and appropriate ground inclination.

We recommend an inclination with a 5cm altitude difference between the centre and the edge of the house. The inclination must provide sufficient and constant drainage from under the mobile home. Additionally, the water must be drained around the house – at least 1m from the edge. If the terrain does not allow it, the drainage must be implemented via drainage pipes.

Note: Humidity under the chassis may cause serious damage to the load bearing capacity of the floor and other parts of the mobile home.

If these instructions are not followed, any damage to the floor will not be grounds for a complaint.

9.7. Roof

It is important that there are never any leaves and needles in gutters, as this may block the gutters, leading to water leaking in the interior of your mobile home.

The mobile home must not be used if the load on the roof exceeds 150kg/m².

Damages to equipment, walls and floor due to water leaks caused by uncleaned gutters shall not be grounds for complaint.

Damages to the roof, walls, ceiling, or other load-bearing elements caused by a too heavy load (uncleaned snow) shall not be grounds for complaint.

Clean the furniture with a damp cloth and non-aggressive cleaning agents to avoid any damage to the particle board, adhesive joints, and ABS.

Do not leave wet cloths on wooden parts of the furniture. If the furniture surface is wet, wipe it dry.

If these instructions are not followed, any damage to equipment will not be grounds for a complaint.

9.8. Loading and unloading (crane)

Never install cables of different lengths between support bars.

Never hang the mobile home without support bars and by creating pressure on the side walls.

9.9. Setting up

If you have installed laths around the mobile home, you must at all times provide for good ventilation of under-floor area (min. 20%) on all sides of the skirting in order to prevent condensation in the ground. If the under-floor enclosure (chassis) is closed or walled, the ventilation system cannot perform its function (see PRECAUTION). In this case, the manufacturer cannot recognize any claims made about the resulting damage (decay, bloating, and deformation of floor particle boards or other wooden elements, etc.).

In case terrain is not prepared appropriately, the mobile home may subside, which can lead to irreparable deformations, sagging of equipment, builders' joinery, furniture, etc. In this case, the warranty cannot be exercised.

9.10. Warranty limits

The warranty shall not apply if manufacturer's instructions are not followed in:

- Terrain preparation
- Loading and unloading
- Drainage
- Ventilation
- Overwintering
- Lines and household appliances
- Setting up the mobile home
- Improper maintenance and non-compliance with the manufacturer's instructions for proper maintenance
- Improper handling of original parts or installations, and modifications performed by unqualified persons
- Setting up the mobile home is not done by the manufacturer or its authorised representative
- Due to intensive use of the mobile home (e.g. as permanent residence, tourist accommodation, or any other use that is considered intensive) or due to incorrect use of the product

In case of problems, you are welcome to contact your authorised supplier who will inform us on this and provide for everything necessary. To file a complaint on warranty, the following must be enclosed:

- Warranty card with authorised supplier's stamp
- Copy of invoice comprising the following: model, number, series and date of purchase.

10. Check List For Successful Maintenance

Inspections of appropriate functioning of the mobile home can be implemented by the manufacturer's authorised person according to the prescribed time period; otherwise the warranty ceases to exist.

			Date	Date	Date	Date	Date
Gas line	Gas line compliance check by an authorised entity	Once a year					
	Checking of flexible hoses	During each replacement of gas cylinder					
Water line	Water line compliance check by an authorised entity	Once a year					
	If the mobile home is not used in the wintertime, the water system must be entirely emptied	Before overwintering					
Electrical line	Electrical line compliance check by an authorised entity	Once a year					
Roof	Cleaning the roof and gutters	Before and after the season					
Devices	Maintenance in accordance with the manufacturer's instructions	Regularly					
Exterior wooden cladding	It is recommended to apply protection coating to the wooden external coating in order to prolong its lifetime	Once a year					

11. Annual Inspection Form

NAME OF OFFICIAL SUPPLIER	
NAME OF CUSTOMER	
COMPANY	
MODEL	
CHASSIS NO.	

YEAR 1	Date of inspection
	Signature and stamp

YEAR 2	Date of inspection
	Signature and stamp

YEAR 3	Date of inspection
	Signature and stamp

YEAR 4	Date of inspection
	Signature and stamp

YEAR 5	Date of inspection
	Signature and stamp

YEAR 6	Date of inspection
	Signature and stamp

YEAR 7	Date of inspection
	Signature and stamp

12. Warranty Sheet

Copy for the user

ADRIA MODEL	
CHASSIS NO.	
SOLD ON	
BUYER	
ADDRESS	
POSTAL CODE	
CITY	
TELEPHONE	
E-MAIL	

This certificate is issued only once. The certificate must be provided always when help is required during the warranty period.

✂

ADRIA MODEL	
CHASSIS NO.	
DATE	

SIGNATURE AND STAMP



Adria Home d.o.o.

Adria Home L.T.D.

Kanižarica 41 • SI8340 Črnomelj • Slovenija

Tel: +386 (0)7 35 69 100 • Fax: +386 (0)7 35 69 105

Email: info@adria-mobilehome.com

www.adria-mobilehome.com

DECLARATION OF CONFORMITY IZJAVA O SKLADNOSTI

Adria Dom d.o.o., Kanižarica 41, SI-8340 Črnomelj declares that the mobile units listed in the table below manufactured and implemented in accordance with standards:

Adria Dom d.o.o., Kanižarica 41, SI-8340 Črnomelj, s tem dokumentom izjavlja, da so mobilne hiške s sledečimi šasijskimi številkami narejene in projektirane v skladu s standardom.

Produkt	Gama	Model	Sezona	Naziv izdelka	Šasija
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000001*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000002*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000003*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000004*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000005*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000006*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000007*
MOBILNA HIŠA	VILLAGE	754 H11	2019	V49 VILLAGE 754 H11 2019 V30	*2220YV4930J000008*

Standard mark: **SIST EN 1647:2019**

Organization: **SIST**

Title (English): **Leisure accommodation vehicles - Caravan holiday homes - Habitation requirements relating to health and safety**

Naslov (slovenski): **Bivalna počitniška vozila - Premične počitniške hišice - Zdravstvene in varnostne zahteve za bivanje**

Standard mark: **SIST EN 1949:2011+A1:2013**

Organization: **SIST**

Title (English): **Specification for the installation of LPG systems for habitation purposes in leisure accommodation vehicles and accommodation purposes in other vehicles**

Naslov (slovenski): **Specifikacija za vgradnjo sistemov na utekočinjeni naftni plin v bivalna vozila za prosti čas in druga vozila**

Standard mark: **SIST EN 721:2005**
Organization: **SIST**
Title (English): **Leisure accommodation vehicles – Safety ventilation requirements**
Naslov (slovenski): **Bivalna počitniška vozila – Zahteve za varnostno prezračevanje**

Marta Kelvišar, Director

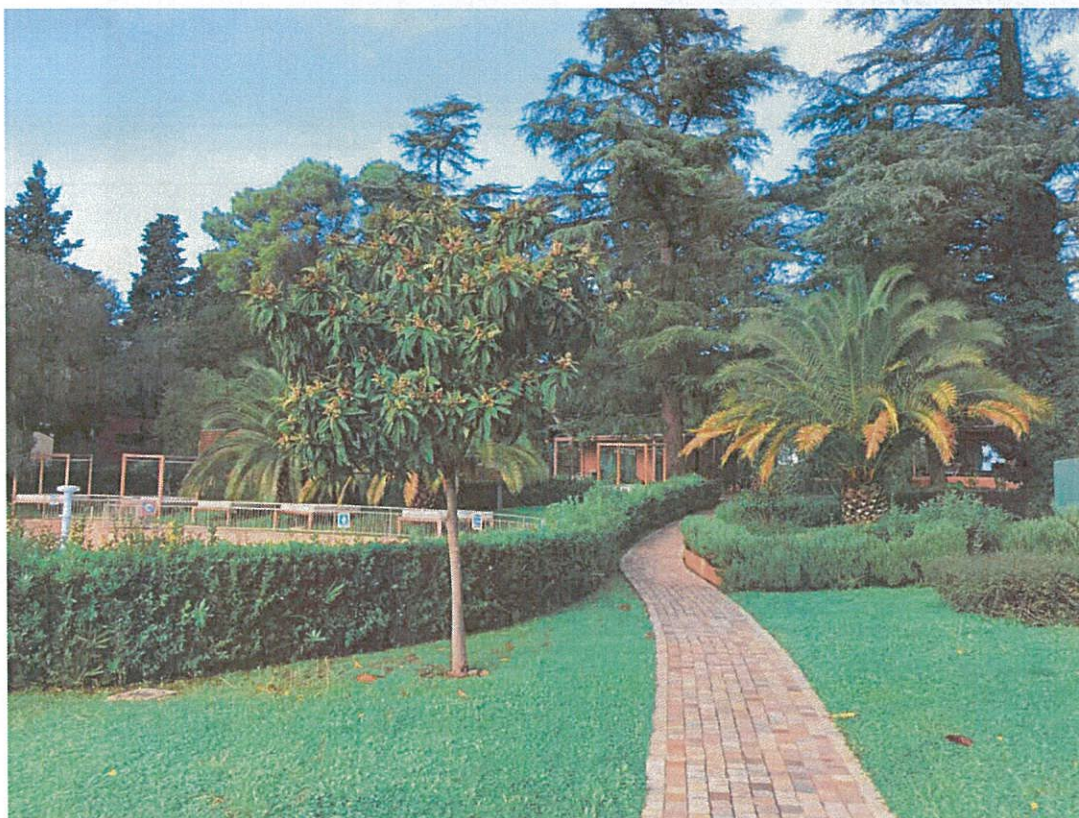


Adria Dom d.o.o.
Adria Home Ltd
Kanižarica 41
SI-8340 Črnomelj

3

FOTOGRAFIJE OBMOČJA

DOSTOP DO KAMPA MIMO OBSTOJEČEGA BAZENA IN ŠESTIH DEPANDANS OBJEKTOV



MOBILNE HIŠICE Z DOSTOPNIMI POTMI



MOBILNE HIŠICE Z DOSTOPNIMI POTMI



MOBILNE HIŠICE Z DOSTOPNIMI POTMI



MOBILNE HIŠICE Z DOSTOPNIMI POTMI



Potrdilo o oddanem elektronskem predlogu / obvestilu:

uporabnik, ki je oddal elektronski predlog / obvestilo:

- uporabniška skupina: 301 - notarji
- osebno ime / naziv: TAVČAR-PASAR MOJCA - NOTARKA

čas oddaje predloga / obvestila: 06.07.2020 - 15:36:21

ID predloga: 8237578
(Interna oznaka: e-zk 401/20)**ZEMLJIŠKOKNJŽNI PREDLOG**

1 predlagatelj EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o., Krekov trg 004, 3000
Celje
Zastopnik notar TAVČAR-PASAR MOJCA - NOTARKA

Na podlagi teh listin

št.	datum listine	vrsta listine	dodatni opis
1	11.07.2019	sodna odločba	Sklep Okrožnega sodišča v Celju, opr. št. Srg 2019/27199.

predlagatelj zahteva, da sodišče dovoli te vpise:

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ stavba 3243 del stavbe 7 (ID 5556684)

ID osnovnega položaja:	9550443
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/10 (ID 7037727)

ID osnovnega položaja:	20608219
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/11 (ID 7037726)

ID osnovnega položaja:	20608218
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/12 (ID 7037725)

ID osnovnega položaja:	20608217
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/13 (ID 7037718)

ID osnovnega položaja:	20608210
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/14 (ID 7037717)

ID osnovnega položaja:	20608209
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/5 (ID 4623098)

ID osnovnega položaja:	7808133
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/8 (ID 7037722)

ID osnovnega položaja:	20608214
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1824/9 (ID 7037720)

ID osnovnega položaja:	20608212
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/11 (ID 2828191)

ID osnovnega položaja:	6099353
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/12 (ID 1652048)

ID osnovnega položaja:	6099354
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/13 (ID 3668286)

ID osnovnega položaja:	6099355
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/133 (ID 7037719)

ID osnovnega položaja:	20608211
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/134 (ID 7037723)

ID osnovnega položaja:	20608215
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/135 (ID 7037721)

ID osnovnega položaja:	20608213
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/136 (ID 7037724)

ID osnovnega položaja:	20608216
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica

delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/3 (ID 4339684)

ID osnovnega položaja:	6099352
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1828/9 (ID 1599817)

ID osnovnega položaja:	7808132
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

pri osnovnih pravnih položajih nepremičnine katastrska občina 2631 PORTOROŽ parcela 1842/1 (ID 2155871)

ID osnovnega položaja:	6099356
vrsta osnovnega položaja:	101 - vknjižena lastninska pravica
delež:	1/1
vpis novega imetnika:	
1. matična številka:	6901581000
firma / naziv:	EUROTAS TURIZEM, gostinstvo in hotelirstvo, d.o.o.
naslov:	Krekov trg 004, 3000 Celje

Eurotas turizem, d.o.o.

Krekov trg 4

3000 Celje

POOBLASTILO

Spodaj podpisani, pooblaščamo podjetje Arhitravi, arhitektura urbanizem d.o.o., Kidričeva ulica 9, 5000 Nova Gorica, ki ga zastopata v tej zadevi Vedran Cvetković in Jasmina Kraigher za zastopanje v vseh postopkih, ki so potrebni za pripravo in vložitev elaborata lokacijske preveritve za začasno rabo na zemljiških parcelah št. 1824/3, 1828/79, 1828/86 vse k.o. Portorož.

Pooblastilo velja za vsa procesna dejanja, ki so potrebna za izvedbo postopka v korist pooblastitelja v rednem postopku, kot jih dovoljuje Zakon o upravnem postopku v zvezi s postopkom pridobitve lokacijskega dovoljenja, gradbenega dovoljenje, projektnih pogojev, soglasij/mnenj ipd., posebej pa tudi za umik zahteve/vloge, prenos pooblastila na drugega, vložitev rednih in izrednih pravnih sredstev.

Pooblastilo velja tudi za vročanje vlog, vabil, odločb, sklepov in drugih pisanj s strani organa ali nasprotne stranke v zvezi z zadevo za katero je pooblastilo dano.

Zastopnik: Aleksander Pinter

